



ADDENDUM NUMBER TWO

November 16, 2021

**INVITATION FOR BIDS #21-912-49 thru #21-912-53
HURRICANE IDA ROOF REPAIRS AT THE FISCHER I & III HOUSING
COMMUNITY**

THIS ADDENDUM IS BEING ISSUED TO INCORPORATE THE FOLLOWING INTO THE REFERENCED INVITATION FOR BIDS

ITEM #1 SCOPE OF WORK

DELETE: Remove line 5 from Paragraph 10, Progress Schedule:

"The duration of the work **shall be 180 days...**"

INSERT: Add the following line 5 to Paragraph 10, Progress Schedule:

"The duration of the work shall be **120 calendar days...**"

DELETE: remove the following from the "SCOPE OF WORK", Paragraph 1, b of the IFB:

"The performance of the Work shall be limited to the hours between 7:00 AM and 5:00 PM on week days..."

INSERT: add the following to the "SCOPE OF WORK", Paragraph 1, b of the IFB:

"The performance of the Work shall be limited to the hours between 8:00 AM and 5:00 PM on week days..."

INSERT: add an additional subparagraph (f)(5) to SUPPLEMENTAL CONDITIONS, **Clause 29 – Changes**:

(f)(5) The contract shall include all work required in the base bid and all unit prices. Unit Prices are estimated and the contractor shall be paid based upon actual quantities installed and verified by the Owner."

ITEM #2 QUESTIONS ASKED DURING PRE-BID CONFERENCE

Q1: What is the total square footage of the project?

A1: Refer to Item #4 of this Addendum for the building floor and roof plans, and the building elevation. Prospective bidders can use these drawings to determine the quantities of the various materials.

Q2: Was this a mandatory pre-bid?

A2: No.

Q3: Do you have the addresses of these units?

A3: Refer to ITEM #4 of this Addendum.

Q4: Are there other similar units there that won't allow us to differentiate which units we're doing?

A4: The buildings that are included in the Scopes of Work are clearly shown on the attached Site Plan and the attached List of Addresses.

ITEM #3 WRITTEN QUESTIONS RECEIVED

Q5: Do you have a visible copy of the floor plan for each "type" of house/unit in the scope of work for each group that we can have?

A5: Refer to Item #4 of this Addendum.

Q6: Can we get the addresses for each unit?

A6: Refer to ITEM #4 of this Addendum.

Q7: Can we get some type of chart or spreadsheet showing which floorplan each unit is?

A7: Refer to Item #4 of this Addendum.

Q8: Is this project tax exempt?

A8: Purchases of component construction materials and taxable services are exempt from sales tax.

Q9: Is there an anticipated budget for this project?

A9: The project budget(s) cannot be released at this time.

Q10: Is contractor to follow and adhere to the DBE/WBE Policy outlined in the specifications?

A10: Yes.

Q11: Are the DBE/WBE requirements part of this contract?

A11: Yes.

Q12: Will HANO's SMDBE requirement of 30% of the contract price be part of this contract?

A12: Yes.

Q13: If DBE/WBE requirements are part of this contract, is there a list of certified/approved subcontractors for the City of New Orleans?

A13: Yes. The list of certified subcontractors is posted on HANO's Web site.

Q14: Are the requirements for subcontracting with small and minority firms, part of the pre-construction bidding phase or part of the construction phase?

A14: The requirements for subcontracting will be part of this contract.

Q15: Is fire retardant wood required for this project?

A15: Fire retardant wood is required for the roof sheathing only at the eaves of the buildings.

Q16: Specification documents state 120 days and 180 days regarding the duration of the project. Please advise what is the correct project duration?

A16: Refer to ITEM #1 of this Addendum.

Q17: Per the Scope of Work provided, it appears that solicitations for Group 1, II, III, IV, and V will be full re-roof projects? Please advise if this is correct, and if contractor is to include all buildings in their base bid, per solicitation, as full re-roofs.

A17: Yes. The Scope of Work is for all the listed houses to receive full replacement of the roof shingles, underlayment, and associated work such as flashing and trim. Only roof sheathing that is deteriorated and/or damaged is to be replaced.

Q18: Are gutters and downspouts to be replaced and included in the base bid per each solicitation? If so, please advise what material/type/model/gauge of gutter and downspout is required.

A18: No, gutter and downspout replacement is not to be included in the base bids.

Q19: What are the potential staging areas for material, tools, trailers, and contractor parking?

A19: Parking is limited to legal street parking. Staging will be limited to the individual houses. The contractor shall bear sole responsibility for securing their materials.

Q20: If existing ridge vents are to remain and not replaced, are they to be removed and reinstalled during construction?

A20: The ridge vents shall remain in place except as required to replace damaged vents. It is up to the Contractor's means and methods to determine if the existing vents need to be removed to complete the installation of the shingles and underlayment.

Q21: Will fascia or soffit work be required as part of the scope of work in the 5 solicitations?

A21: Fascia and soffit work is not included in the Scope of Work.

Q22: The Scope of Work, page 114, states a 30-year material warranty for the first 10 years, however, the Shingle specifications, page 132, states a 25-year material warranty for the first 10 years. Please advise which is the correct material warranty required?

A22: The Scope of Work requires a 30-year material warranty.

Q23: The Wind Speed specified is conflicting as there are 2 different wind speeds stated: one is for 110 mph for 10 years, and the other is for 130 mph for 10 years. Please advise which is the correct wind speed required?

A23: The Wind Speed of 130 mph for 10 years is the correct wind speed.

Q24: The Algae-Discoloration Warranty period is conflicting as there are 2 different warranty periods stated in the documents? The Scope of Work mentions shingles shall not discolor for 10 years, but the Shingle spec section states 5 years. Please advise which is the correct warranty period for the discoloration warranty period?

A24: The warranty period of 10 years is the correct discoloration warranty period.

ITEM #4: LIST OF ADDRESSES

INSERT: add SITE PLAN and FISCHER I, III RE-ROOFING LIST OF ADDRESSES, to the IFB as attached.

ITEM #5 BUILDING FLOOR AND ROOF PLANS AND ELEVATIONS

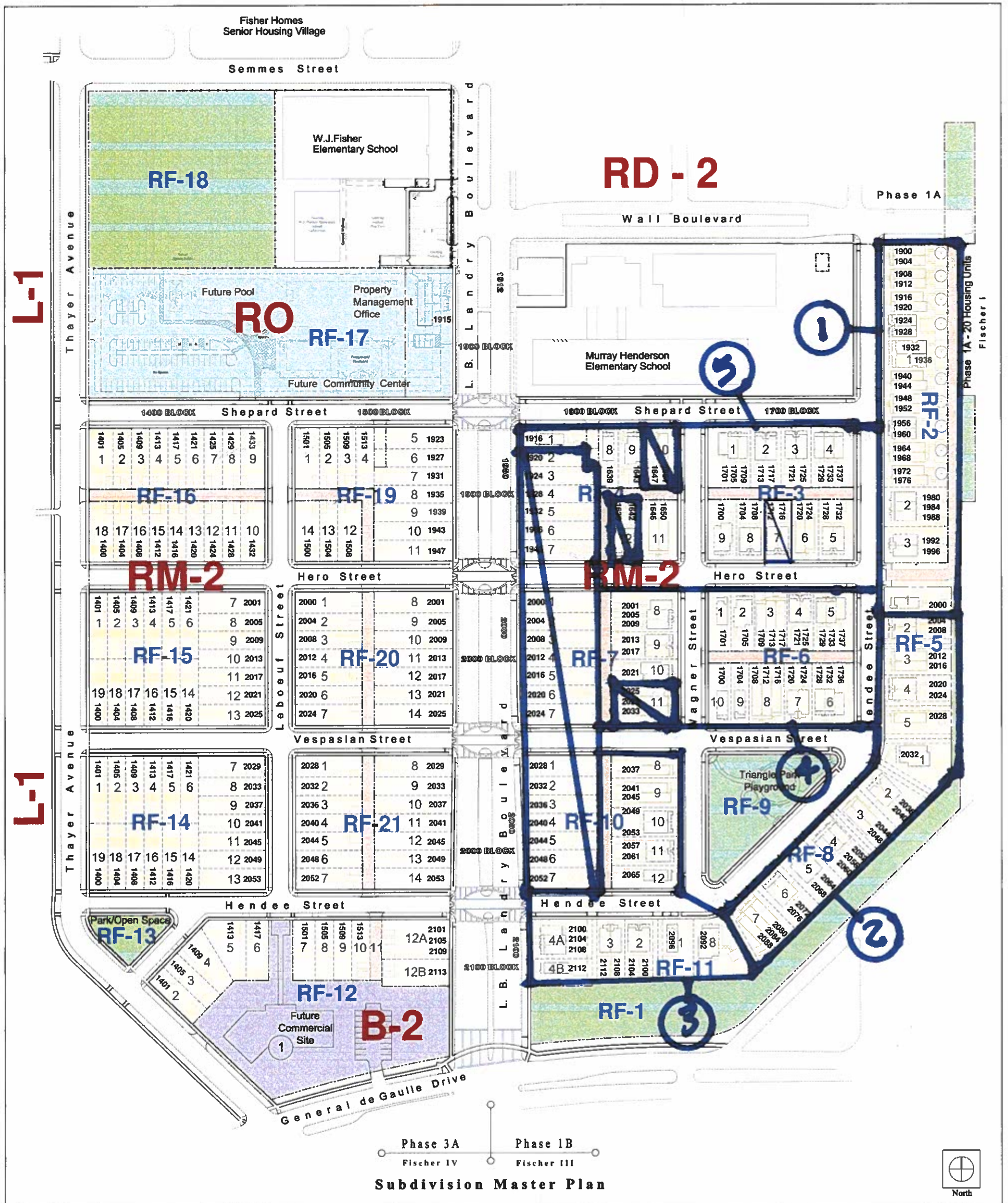
INSERT: add BUILDING FLOOR AND ROOF PLANS AND ELEVATIONS, to the IFB as attached.

ITEM #6: PRE-BID CONFERENCE SIGN-IN SHEET

INSERT: add "PRE-BID CONFERENCE SIGN-IN SHEET", to the IFB as attached.

Bids must be received by the Housing Authority of New Orleans (HANO) in the Department of Procurement and Contracts by 2:00 P.M. CST on Friday, November 19, 2021. All terms and conditions shall remain as stated in the original Invitation for Bids. All addenda must be acknowledged.

END OF ADDENDUM NUMBER TWO



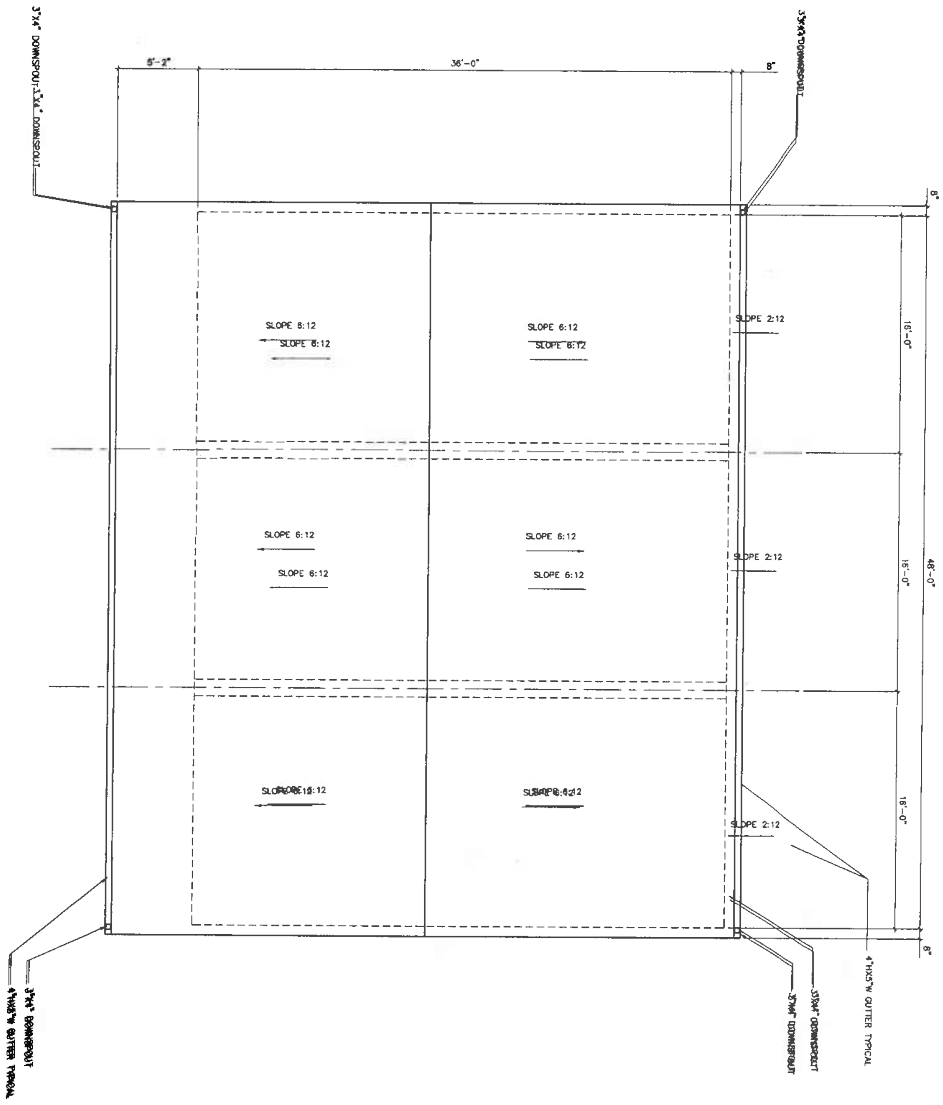
Revitalization of Fischer Housing Development

New Orleans, LA

REVISED: 11/05/2021
ADDENDUM NO. 01

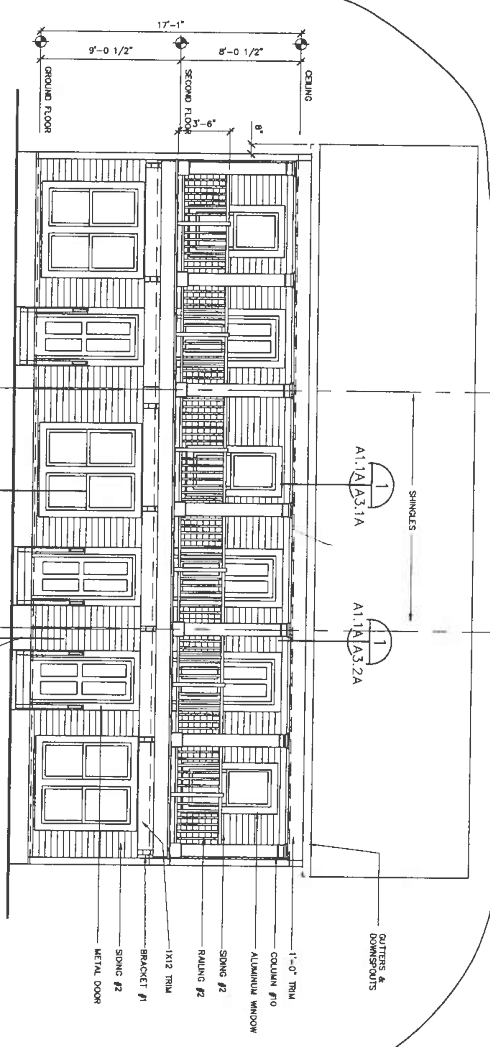
FISCHER I III
RE-ROOFING
LIST OF ADDRESSES

GROUP ONE			GROUP FOUR		
#	ADRESS	STREET	#	ADRESS	STREET
1	1900-04	HENDEE	1	2001-05-09	WAGNER
2	1908-12	HENDEE	2	2013-17	WAGNER
3	1916-20	HENDEE	3	2021	WAGNER
4	1924-28	HENDEE	NIC	2025-29-33	WAGNER
5	1932-36	HENDEE	4	1700	VESPASIAN
6	1940-44	HENDEE	5	1704	VESPASIAN
7	1948-52	HENDEE	6	1708-12-16	VESPASIAN
8	1956-60	HENDEE	7	1720-24	VESPASIAN
9	1964-68	HENDEE	8	1728-1732-36	VESPASIAN
10	1972-76	HENDEE	9	1701	HERO
11	1980-84-88	HENDEE	10	1705	HERO
12	192-96	HENDEE	11	1709-13-17	HERO
13	2000	HENDEE	12	1721-25	HERO
GROUP TWO			13	1729-33-37	HERO
1	2004-08	HENDEE	GROUP FIVE		
2	2012-16	HENDEE	1	1916	L.B. LANDRY
3	2020-24	HENDEE	2	1639	SHEPARD
4	2028	HENDEE	3	1643	SHEPARD
5	2032	HENDEE	NIC	1647-51	SHEPARD
6	2036-40	HENDEE	4	1701-05-09	SHEPARD
7	2044-48	HENDEE	5	1713-17	SHEPARD
8	2052-56-60	HENDEE	6	1721-25	SHEPARD
9	2064-68	HENDEE	7	1729-33-37	SHEPARD
10	2072-76	HENDEE	NIC	1638-42	HERO
11	2080-84-88	HENDEE	8	1646-50	HERO
GROUP THREE			9	1700	HERO
1	2092	HENDEE	10	1704-08	HERO
2	2096	HENDEE	NIC	1712-16	HERO
3	2100-04	HENDEE	11	1720-24	HERO
4	2108-12	HENDEE	12	1728-32	HERO
5	2100-04-08	L.B. LANDRY	NIC NOT IN CONTRACT		
6	2112	L.B. LANDRY			
7	2037	WAGNER			
8	2041-45	WAGNER			
9	2049-53	WAGNER			
10	2057-61	WAGNER			
11	2065	WAGNER			
TOTAL HOUSES: 60					

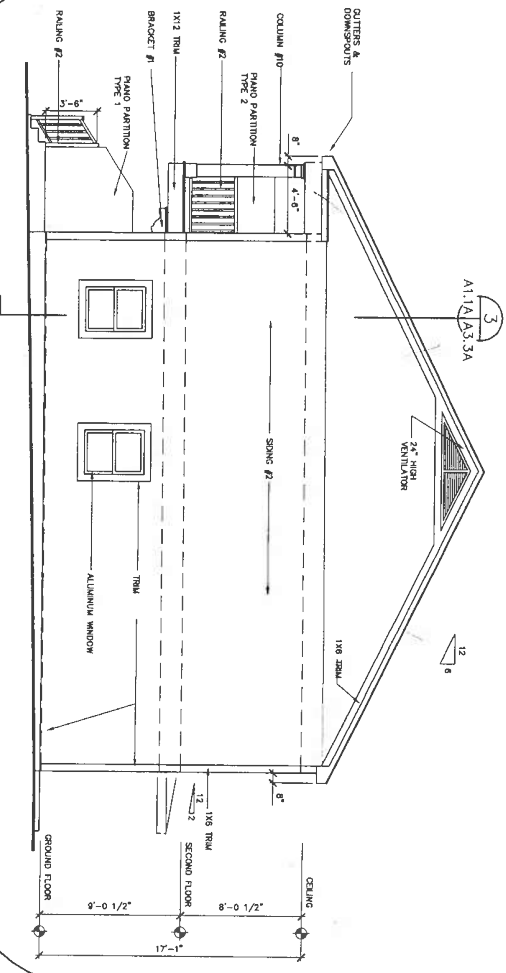


2-BEDROOM BLDG. A - ROOF PLAN
 TRIPLEX
 SCALE: 1/4"=1'-0"

- NOTE:** THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING AS.10 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING AS.10 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING AS.11 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING AS.12 THROUGH AS.14 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
 4. REFER TO DRAWING S1.1 A AND S1.2 A FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING S1.3 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING P5.10 FOR PLUMBING PLANS.
 7. REFER TO DRAWING ES.10 FOR ELECTRICAL PLANS.

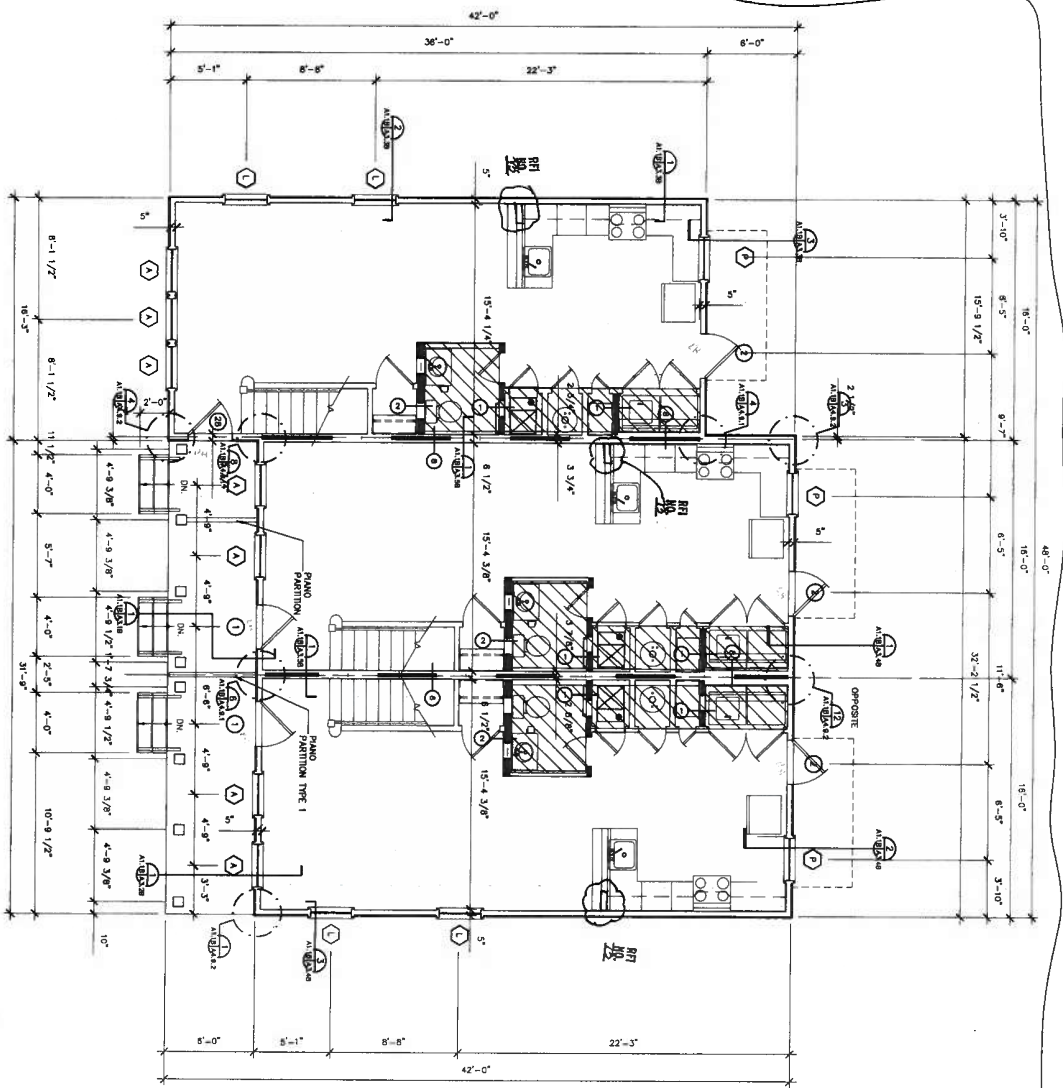


2-BEDROOM BLDG. A - FRONT ELEVATION
SCALE: 1/4"=1'-0"



2-BEDROOM BLDG. A - RIGHT ELEVATION (LEFT OPPOSITE)
SCALE: 1/4"=1'-0"

NOTE:
REFER TO VOLUME 3
DRAWING V03007, SHEET
A0.4 FOR COLUMNS, RAILING,
BRACKET, & MOLDING TYPES.



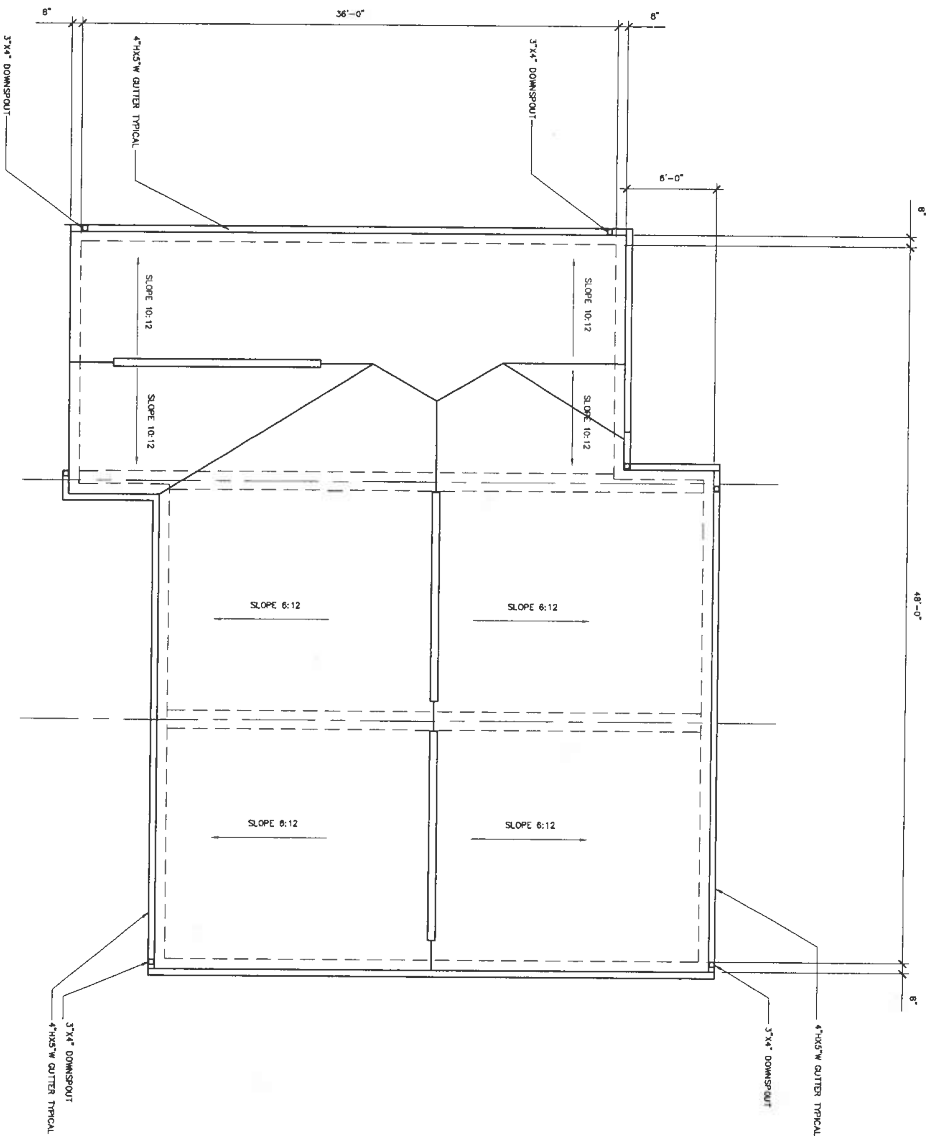
2-BEDROOM BLDG. B - 1ST. FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE GENERAL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING AS10 FOR INTERIOR LAYOUT DIMENSIONS ARE FROM OUT TO OUT OF FINISHED EXTERIOR WALLS.
1. REFER TO DRAWING AS10 FOR 1/4" SCALE LIFT PLAN.
 2. REFER TO DRAWINGS AS11 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWINGS AS12 THROUGH AS14 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
 4. REFER TO DRAWING S11 A AND S12 A FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING P210 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING P210 FOR ELECTRICAL PLANS.
 7. REFER TO DRAWING E510 FOR ELECTRICAL PLANS.
 8. REFER TO DRAWING A6.8 FOR PLANO PARTITIONS.

101 488 9510
 FOR
 FIRE NOTING

PARTITION LEGEND

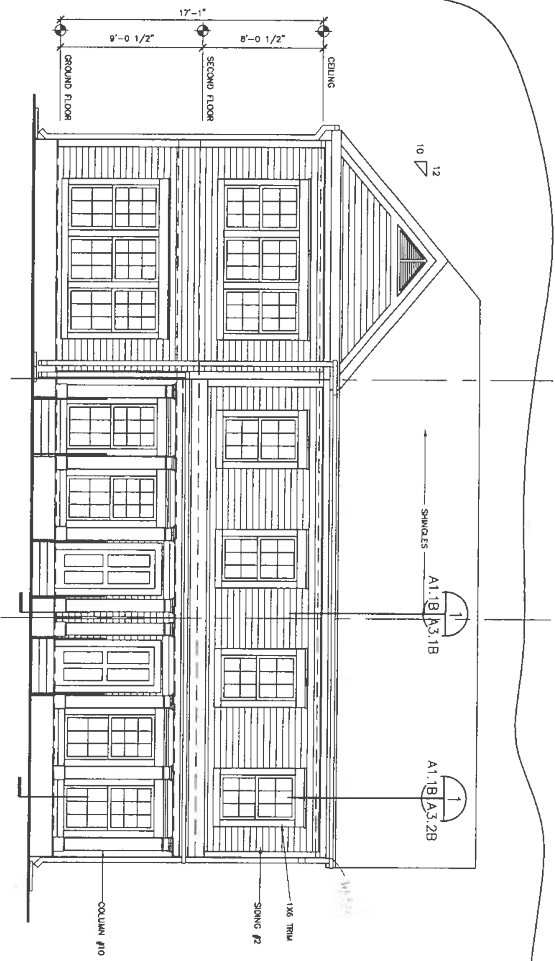
○ REFER TO VOL. 3 SHEET A4.8 FOR PARTITION TYPES
 — SHEAR WALL WITH X-BRACING ONE SIDE TO EACH ABOVE
 — 2-HOUR RATED FIRE PARTITION: ONE SIDE TO EACH ABOVE
 — CEILING LOWERED TO 7'-0"



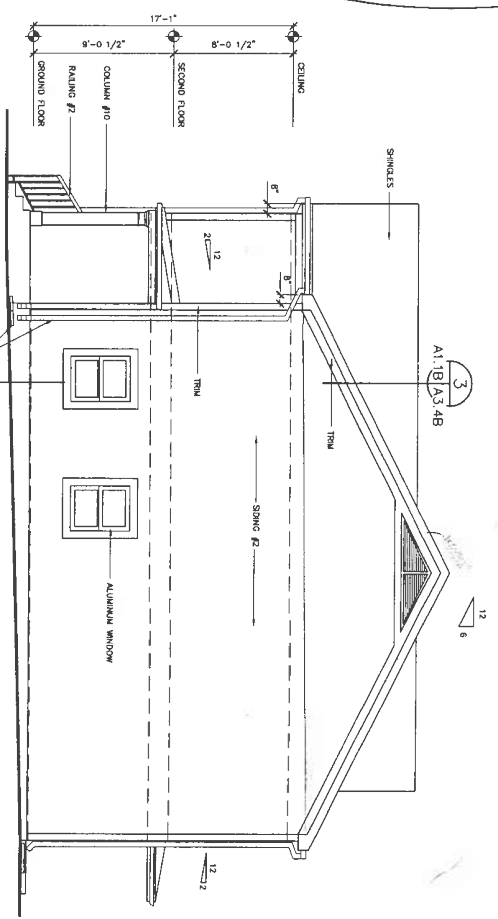
2-BEDROOM BLDG. B - ROOF PLAN
TRAPEZ

- SCALE: 1/4"=1'-0"
1. REFER TO DRAWING AS.10 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING AS.11 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING AS.12 FOR FINISH FLOOR PLAN.
 4. REFER TO DRAWING S1.1 A AND S1.2 A FOR STRUCTURAL FLOOR.
 5. REFER TO DRAWING MS.10 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING PS.10 FOR PLUMBING PLANS.
 7. REFER TO DRAWING ES.10 FOR ELECTRICAL PLANS.

NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING FOOTPRINT AND THE LOCATION OF THE ROOF. LOCATIONS, PERIOD CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING AS.10 FOR INTERIOR LAYOUT.

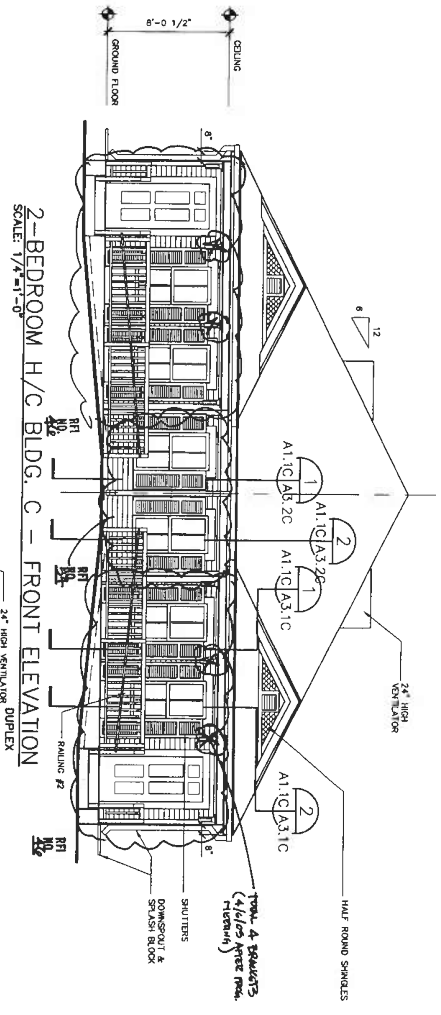


4-BEDROOM BLDG. B - FRONT ELEVATION
SCALE: 1/4"=1'-0"
TRIPLEX

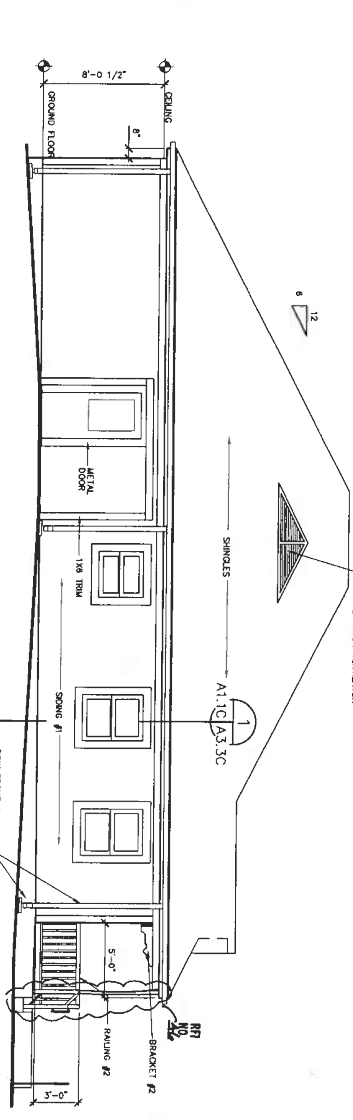


4-BEDROOM BLDG. B - RIGHT ELEVATION
SCALE: 1/4"=1'-0"

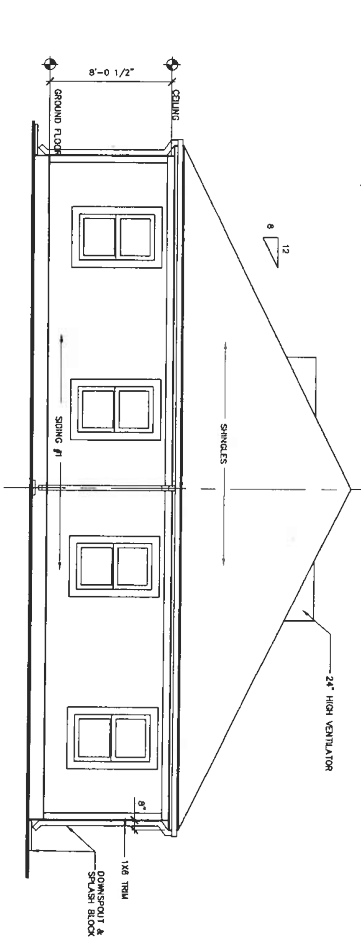
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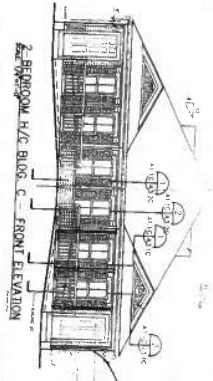
2-BEDROOM H/C BLDG. C - FRONT ELEVATION
SCALE: 1/4"=1'-0"



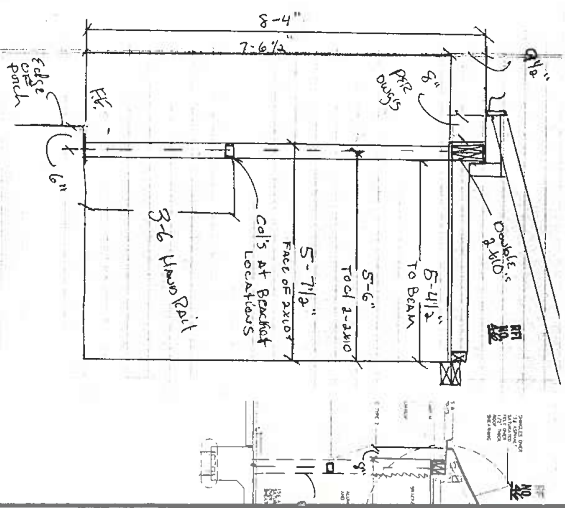
2-BEDROOM H/C BLDG. C - RIGHT ELEVATION (RIGHT ELEV. OPPOSITE)
SCALE: 1/4"=1'-0"



2-BEDROOM H/C BLDG. C - REAR ELEVATION
SCALE: 1/4"=1'-0"



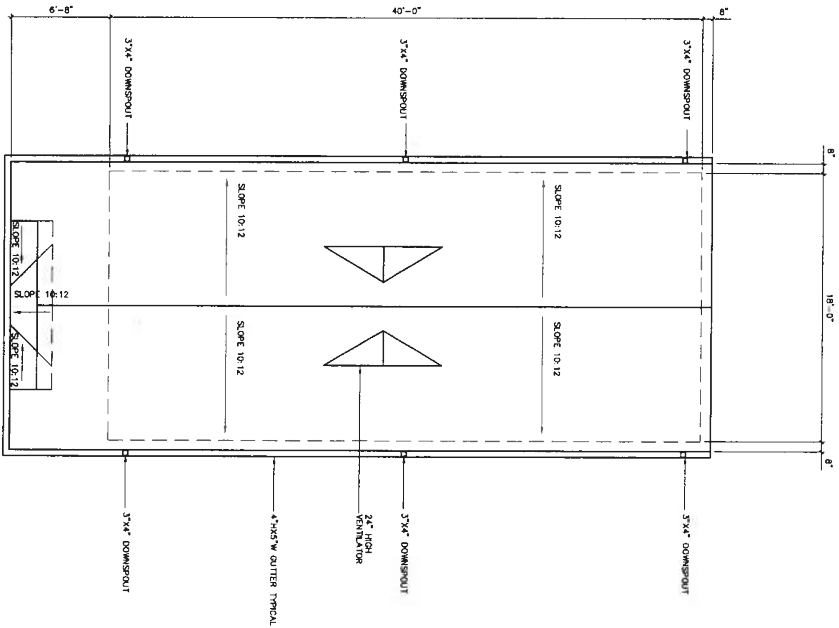
2-BEDROOM H/C BLDG. C - FRONT ELEVATION



DATE: 08/20/2011
PROJECT NO.: 080801
DRAWING NO.: 080801-01
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PROJECT: 2-BEDROOM H/C BLDG. C
SHEET: 01 OF 04
DRAWN BY: JLD
CHECKED BY: JLD
DATE: 08/20/2011

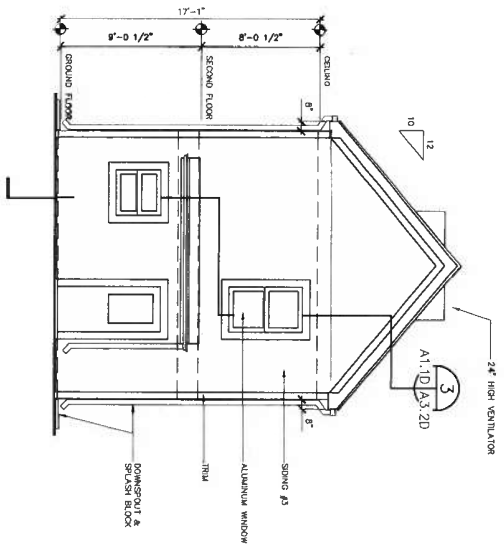
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BRACKET, & MOLDING TYPES.

PROJECT NO.: 080801
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CHECKED BY: JLD
DATE: 08/20/2011

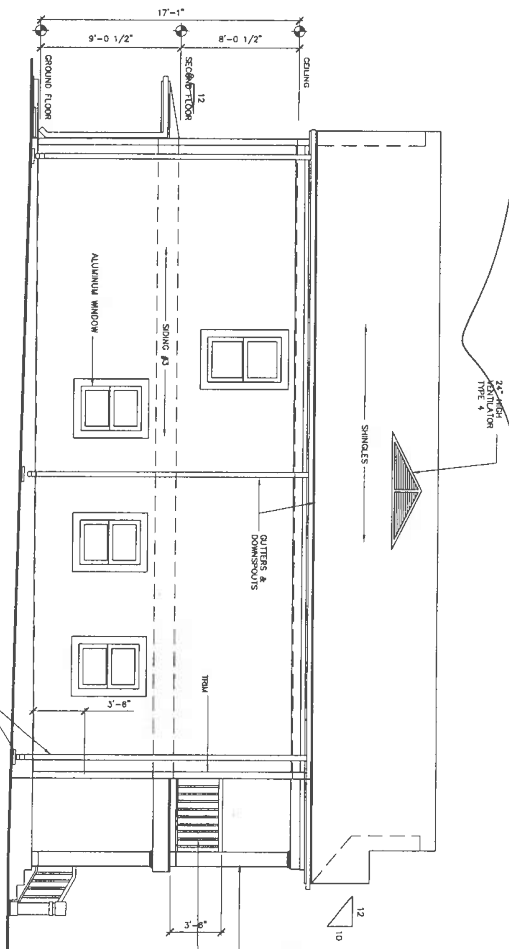


3-BEDROOM BLDG. D - ROOF PLAN
 SCALE: 1/4"=1'-0"

- NOTE:** THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING FOOTPRINT AND THE LOCATION OF THE ROOF PLAN. REFER TO DRAWING A5.30 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING A5.30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING A5.30 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING A5.12 FOR INTERIOR FINISHES.
 4. REFER TO DRAWING S1.1 D AND S1.2 D FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING M5.30 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING P5.30 FOR PLUMBING PLANS.
 7. REFER TO DRAWING E5.30 FOR ELECTRICAL PLANS.

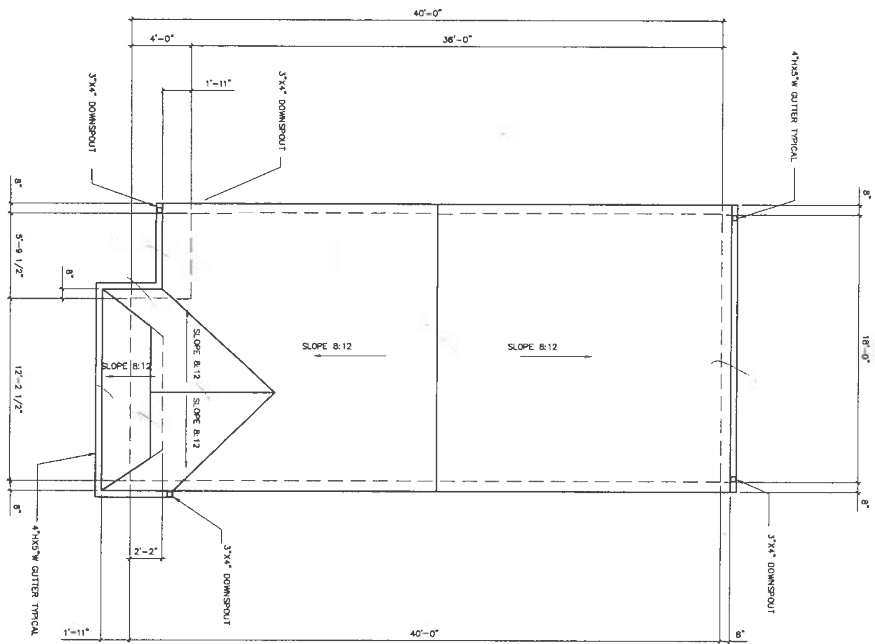


3-BEDROOM BLDG. D - REAR ELEVATION
 SCALE: 1/4"=1'-0"



3-BEDROOM BLDG. D - LEFT ELEVATION
 SCALE: 1/4"=1'-0"

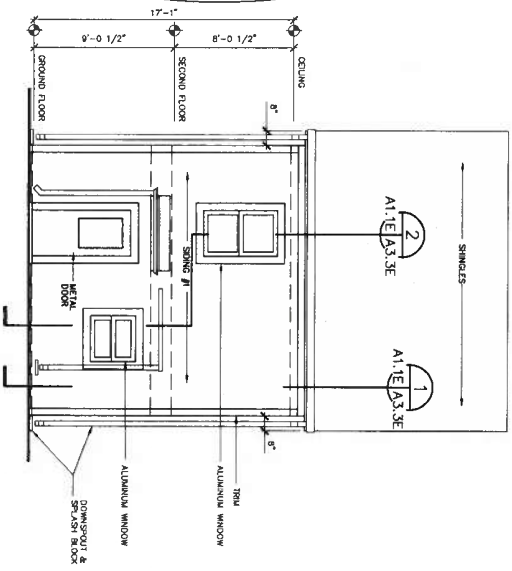
NOTE:
 REFER TO VOLUME 3,
 DRAWING: V03005, SHEET
 A0.4 FOR COLUMNS, RAILING,
 BRACKET, & MOLDING TYPES.



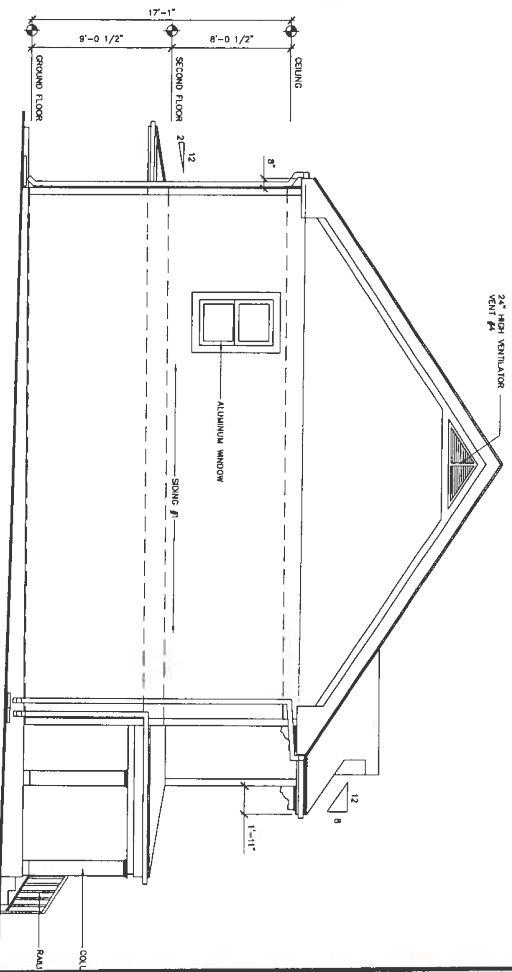
3-BEDROOM BLDG. E - ROOF PLAN
 SCALE: 1/4"=1'-0"

SINGLE DETACHED

- NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE GENERAL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING A530 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING A530 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING A531 FOR WINDOW SCHEDULE.
 3. REFER TO DRAWING A532 THROUGH A535 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
 4. REFER TO DRAWING S1.1 E AND S1.2 E FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING M5.50 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING E5.50 FOR ELECTRICAL PLANS.
 7. REFER TO DRAWING E5.50 FOR ELECTRICAL PLANS.

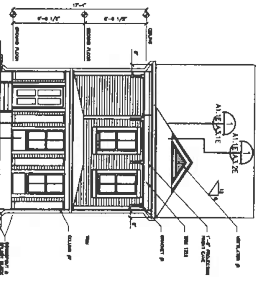


3-BEDROOM BLDG. E - REAR ELEVATION
SCALE: 1/4"=1'-0"

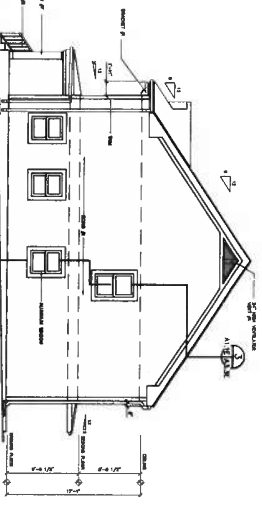


3-BEDROOM BLDG. E - LEFT ELEVATION
SCALE: 1/4"=1'-0"

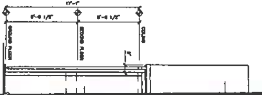
NOTE:
REFER TO VOLUME 3,
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A0.4 FOR COLUMNS, RAIL
BRACKET, & MOLDING TY



3-BEDROOM BLDG. E - FACIASE

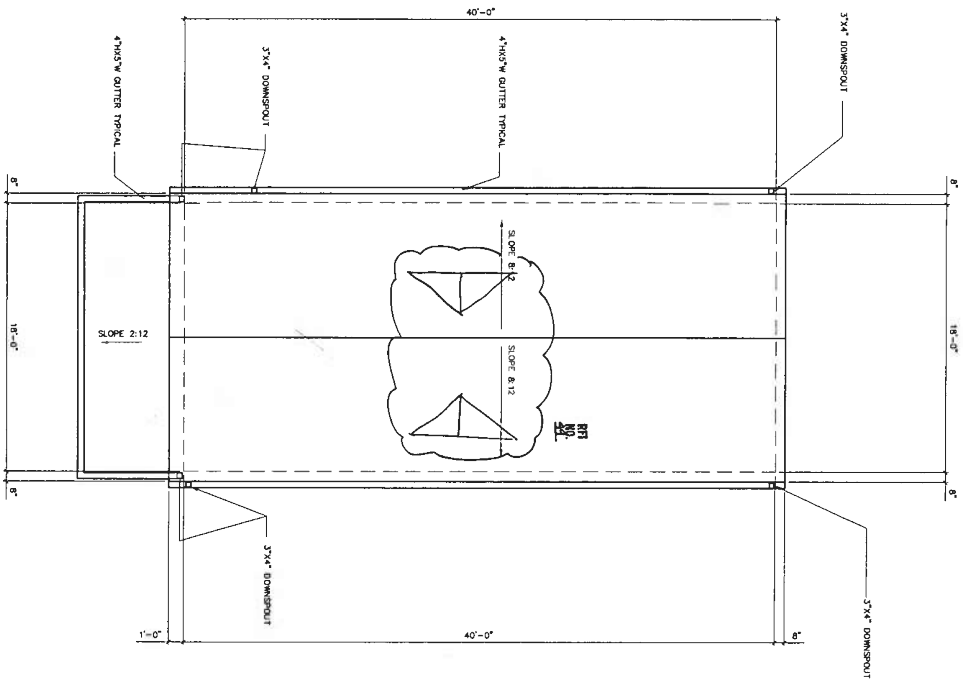


3-BEDROOM BLDG. E - RIGHT ELEVATION



3-BEDROOM

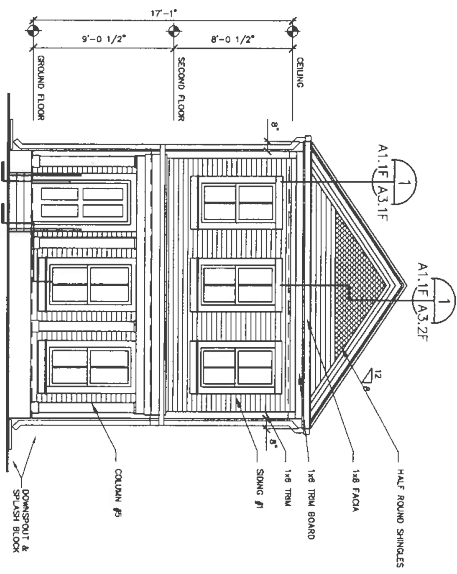
56. Deleted the area of FORTY ONE THOUSAND AND ZERO CENTS (\$41,000.00) for defining ponding water from the first floor provided by 500 linear feet. 11/8/5



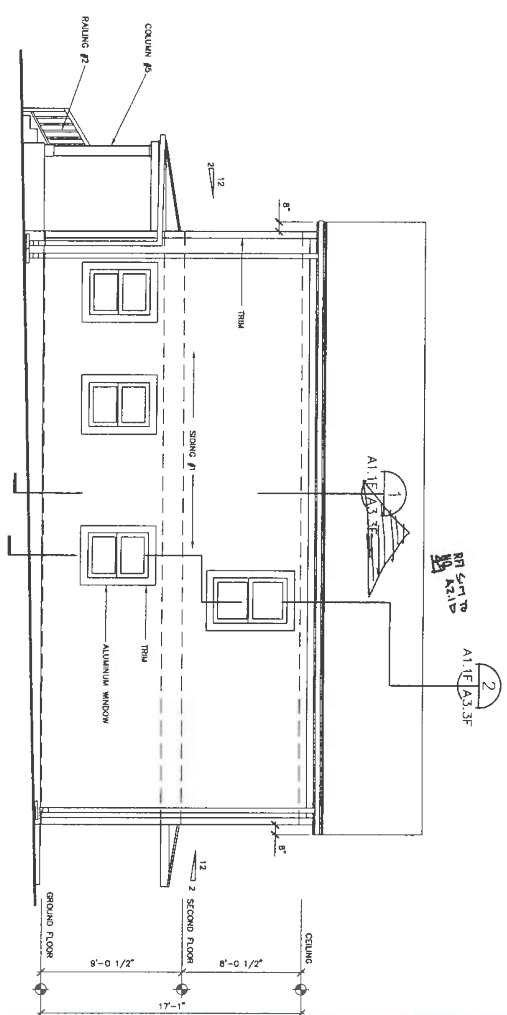
3-BEDROOM BLDG. F - ROOF PLAN
 SINGLE DETACHED
 SCALE: 1/4"=1'-0"

- NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL LOCATION AND POSITION OF THE WINDOW, DOOR, AND FINISH SCHEDULE LOCATIONS FOR THE ROOF PLAN AND EXTERIOR OPENINGS. REFER TO DRAWING A5.30 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING A5.30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING A5.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE LOCATIONS FOR THE ROOF PLAN AND EXTERIOR OPENINGS.
 3. REFER TO DRAWING S1.1 F AND S1.2 F FOR STRUCTURAL PLANS.
 4. REFER TO DRAWING M5.30 FOR MECHANICAL PLANS.
 5. REFER TO DRAWING P5.30 FOR PLUMBING PLANS.
 6. REFER TO DRAWING E3.30 FOR ELECTRICAL PLANS.

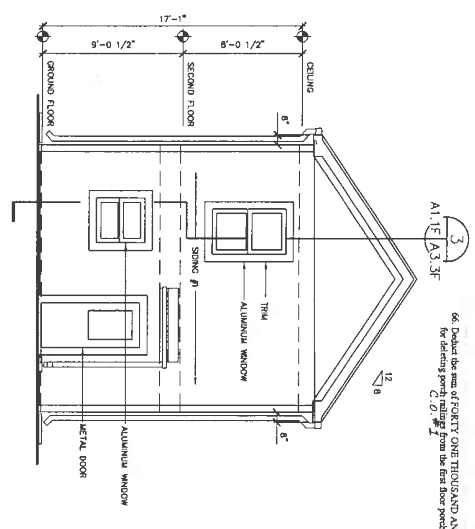
PROJECT NO. 2008-0001
 DATE: 08/11/08
 DRAWN BY: J. WILSON
 CHECKED BY: J. WILSON
 APPROVED BY: J. WILSON
 PROJECT NO. 2008-0001
 DATE: 08/11/08
 DRAWN BY: J. WILSON
 CHECKED BY: J. WILSON
 APPROVED BY: J. WILSON



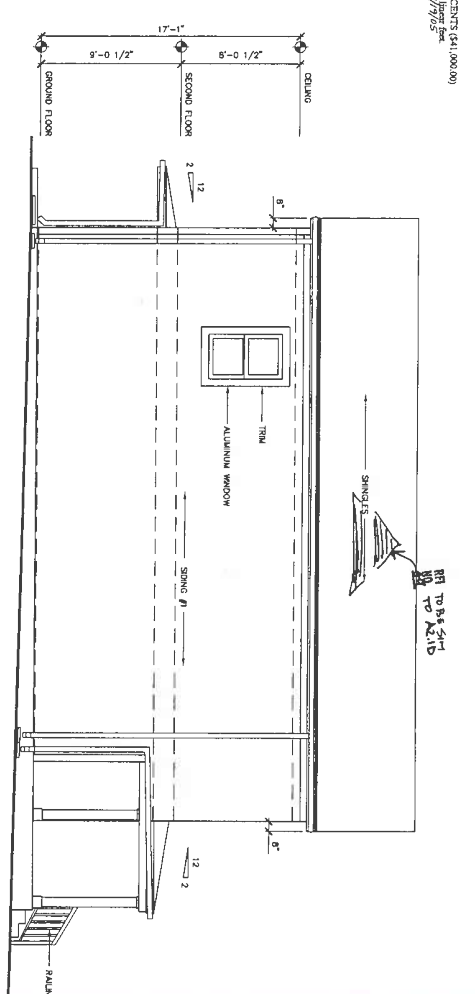
3-BEDROOM BLDG. F - FRONT ELEVATION
SCALE: 1/4"=1'-0"
SINGLE DETACHED



3-BEDROOM BLDG. F - RIGHT ELEVATION
SCALE: 1/4"=1'-0"



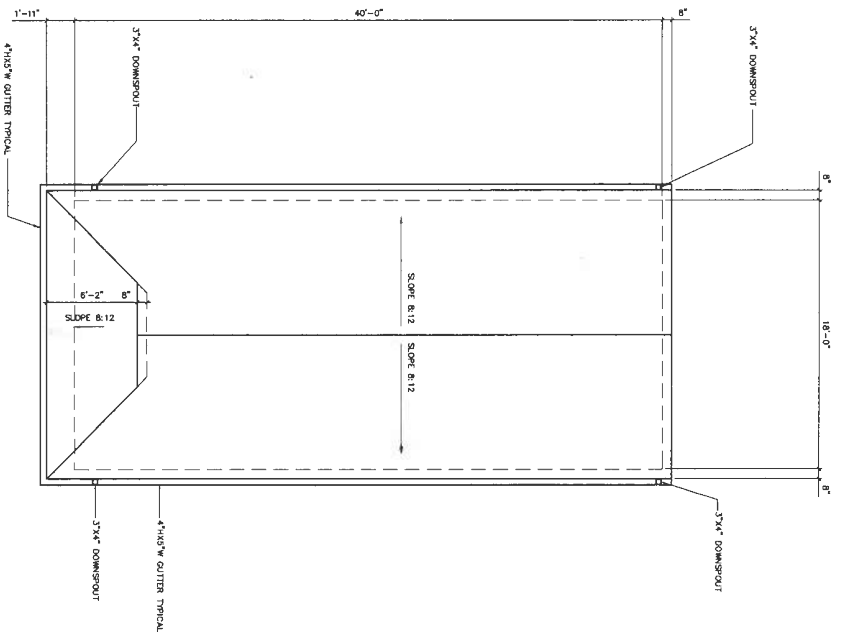
3-BEDROOM BLDG. F - REAR ELEVATION
SCALE: 1/4"=1'-0"



3-BEDROOM BLDG. F - LEFT ELEVATION
SCALE: 1/4"=1'-0"

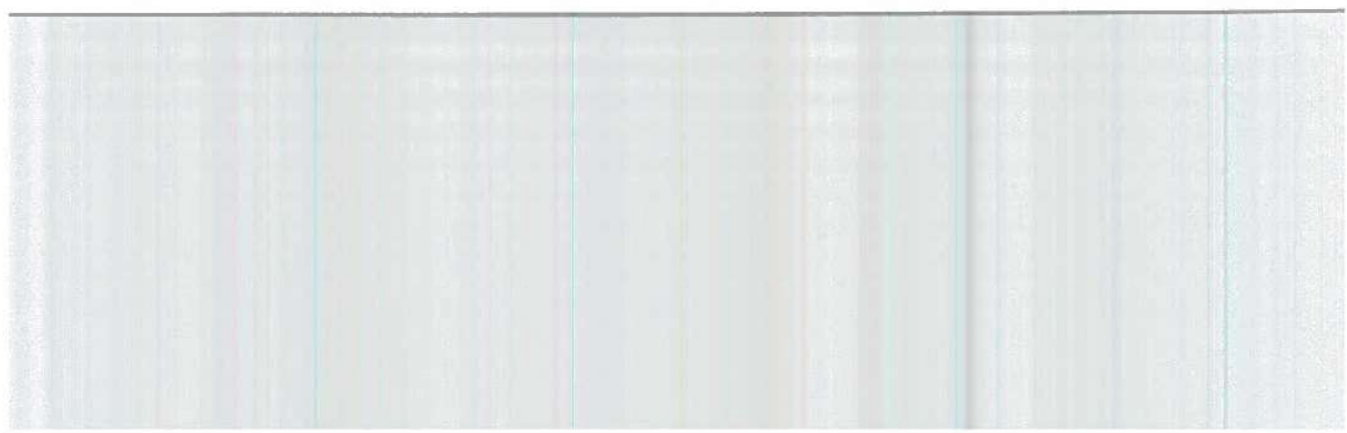
66. Product the name of FOREST ONE THOUSAND AND ZERO CENT'S (CAL. 1000.00) for shingles per sq. ft. from the list also provided by 5/21/75

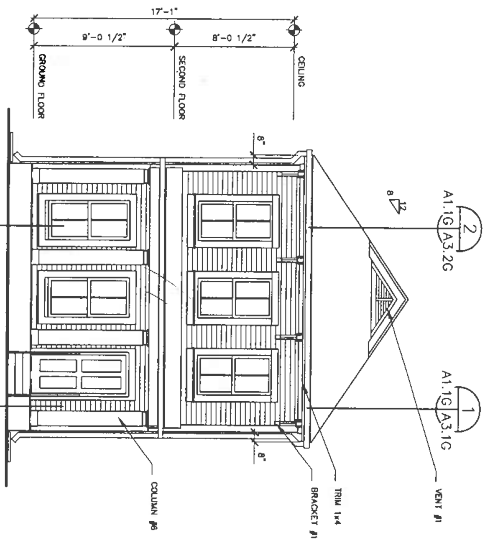
NOTE:
REFER TO VOLUME 3
DRAWING V03005, SHEET
A0.4 FOR COLUMNS, RAILING
BRACKET, & MOLDING TR



3-BEDROOM BLDG. G - ROOF PLAN
 SCALE 1/4"=1'-0"

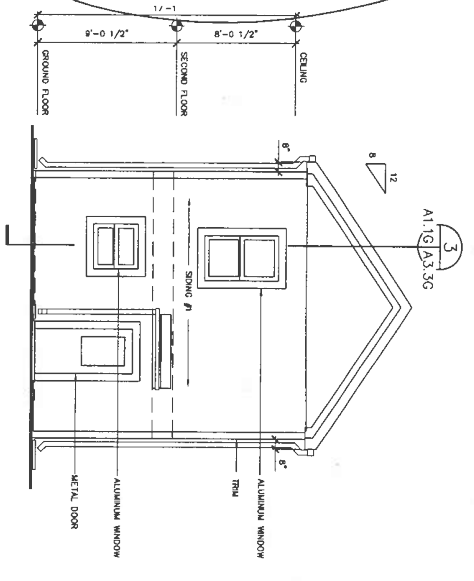
- NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL DIMENSIONS AND LOCATIONS FOR INSULATION AND EXTERIOR OPENINGS. REFER TO DRAWING A5.30 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING A5.30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING A5.30 FOR WINDOW, DOOR AND FINISH SCHEDULE.
 3. REFER TO DRAWING S1.12 FOR INTERIOR PARTITIONS AND STAIR SECTIONS.
 4. REFER TO DRAWING S1.1 G AND S1.2 G FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING M5.30 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING P5.30 FOR PLUMBING PLANS.
 7. REFER TO DRAWING E5.30 FOR ELECTRICAL PLANS.



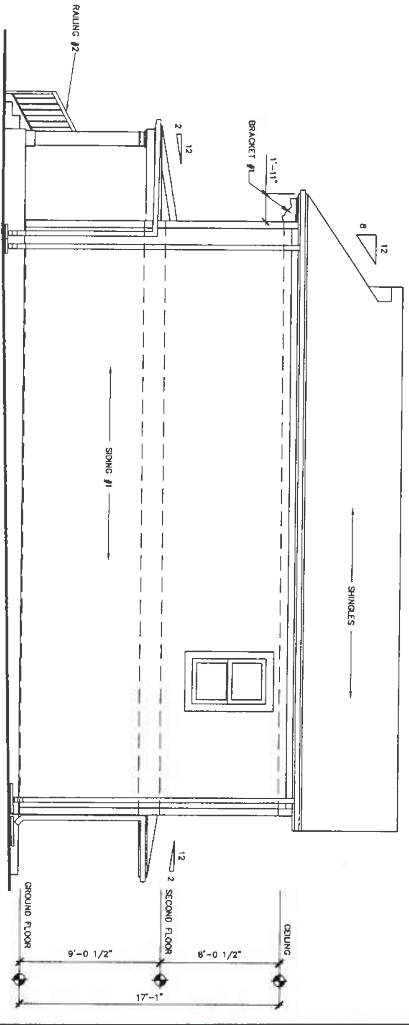


3-BEDROOM BLDG. G - FRONT ELEVATION
SCALE: 1/4"=1'-0"

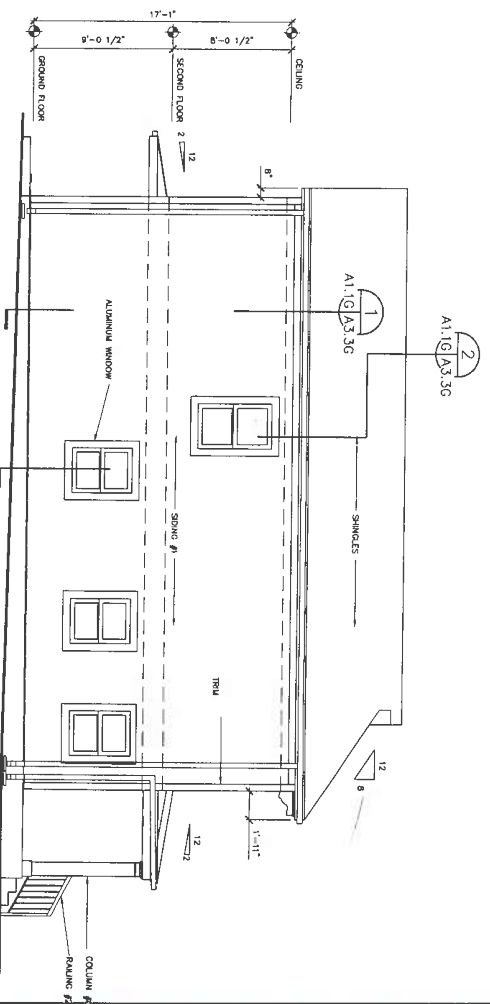
66. Deduct the sum of FORTY ONE THOUSAND AND ZERO CENTS (\$41,000.00) for deducting good and valuable materials from the true value thereof by 200 1/2% of the cost of such materials.



3-BEDROOM BLDG. G - REAR ELEVATION
SCALE: 1/4"=1'-0"



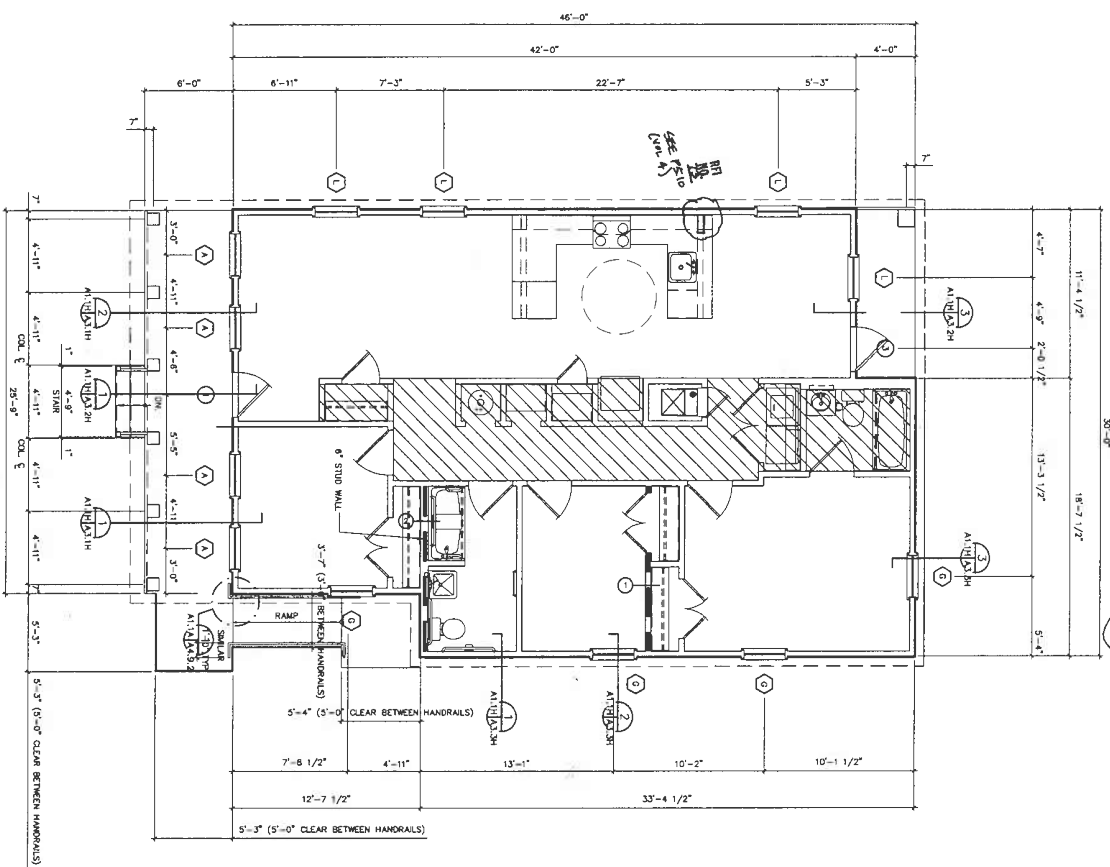
3-BEDROOM BLDG. G - RIGHT ELEVATION
SCALE: 1/4"=1'-0"



3-BEDROOM BLDG. G - LEFT ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
REFER TO VOLUME 3,
DRAWING V03005, SHEET
A0.4 FOR COLUMNS, RAIL
BRACKET, & MOLDING TYPE

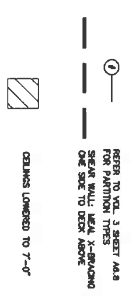
3-BEDROOM HANDICAPPED BLDG. H - 1ST. FLOOR PLAN
 SCALE: 1/4"=1'-0"
 SINGLE DETACHED



NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING A5.10 FOR INTERIOR LAYOUT DIMENSIONS AND FROM SET TO SET OF FINISHED EXTERIOR WALLS.

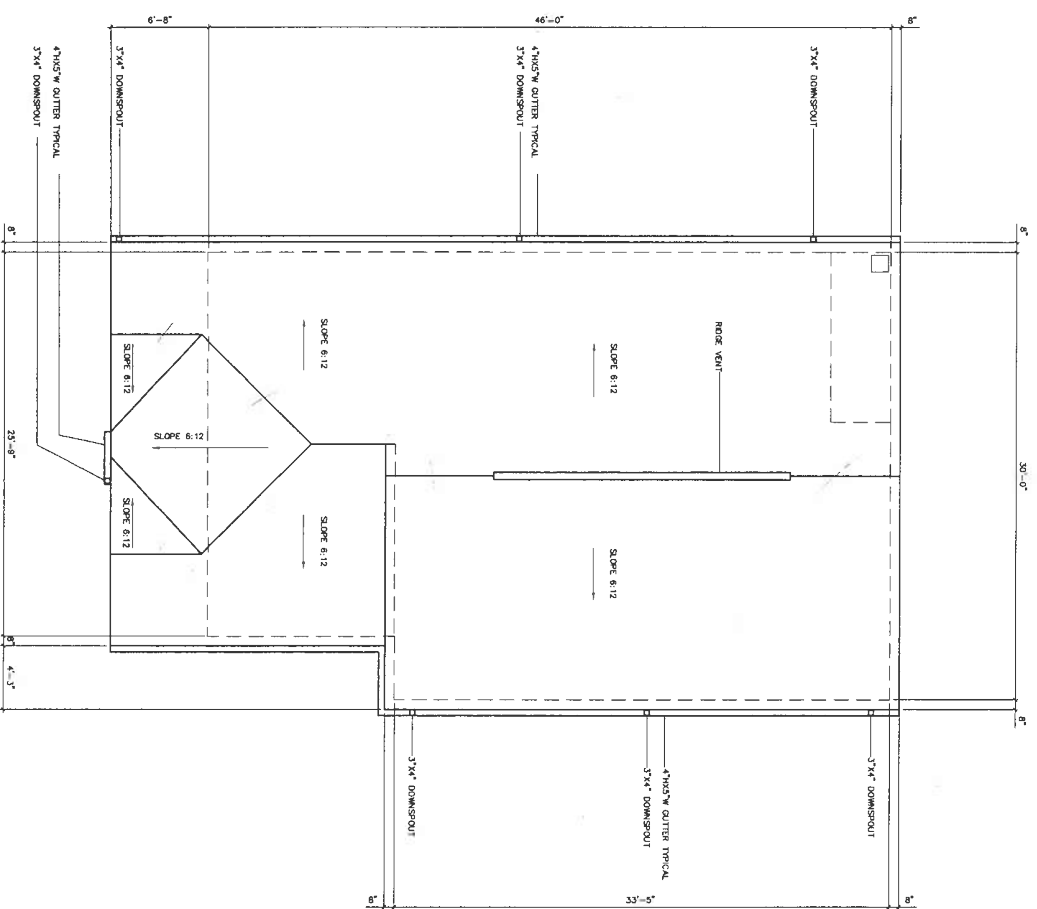
1. REFER TO DRAWING A5.40 FOR 1/4" SCALE UNIT PLAN.
2. REFER TO DRAWING A5.40 FOR WINDOW, DOOR AND FINISH SCHEDULE.
3. REFER TO DRAWING A5.40 FOR FINISH SCHEDULE.
4. REFER TO DRAWING S1.1.1 H AND S1.2 H FOR STRUCTURAL PLANS.
5. REFER TO DRAWING M5.40 FOR MECHANICAL PLANS.
6. REFER TO DRAWING P5.40 FOR PLUMBING PLANS.
7. REFER TO DRAWING E5.40 FOR ELECTRICAL PLANS.

PARTITION LEGEND



REFER TO SHT. C1.11-C1.13 & C1.18-C1.19 FOR RAMP INFORMATION

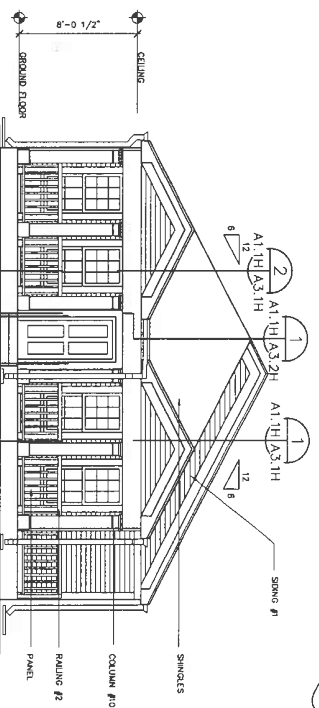
3-BEDROOM HANDICAPPED BLDG. H - ROOF PLAN
 SCALE: 1/4"=1'-0"
 SINGLE DETACHED



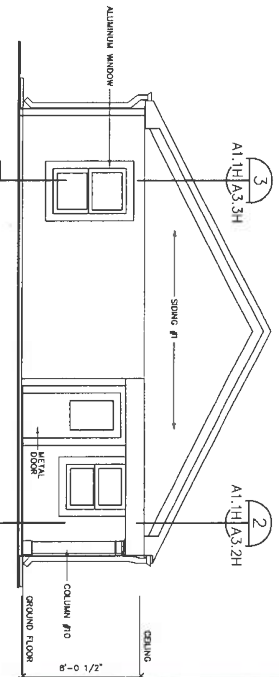
- NOTE:**
- THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING AS-40 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING AS-40 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING AS-41 FOR WINDOW, DOOR AND FINISH SCHEDULES.
 3. REFER TO DRAWINGS AS-42 THROUGH AS-43 FOR INTERIOR ELEVATIONS.
 4. REFER TO DRAWING S1.1 H AND S1.2 H FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING MS-40 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING ES-40 FOR ELECTRICAL PLANS.
 7. REFER TO DRAWING ES-40 FOR ELECTRICAL PLANS.

3-BEDROOM H/C BLDG. H - FRONT ELEVATION
SCALE: 1/4"=1'-0"

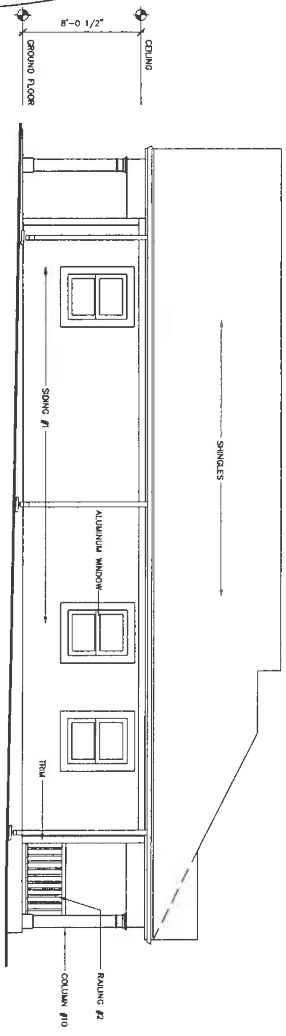
66. Deduct the name of FRONT-COURT THROATLAND AND ZERO-COSTS (\$41,000.00) for existing portion of building from the first floor proceeds by 100% after 1/1/85.



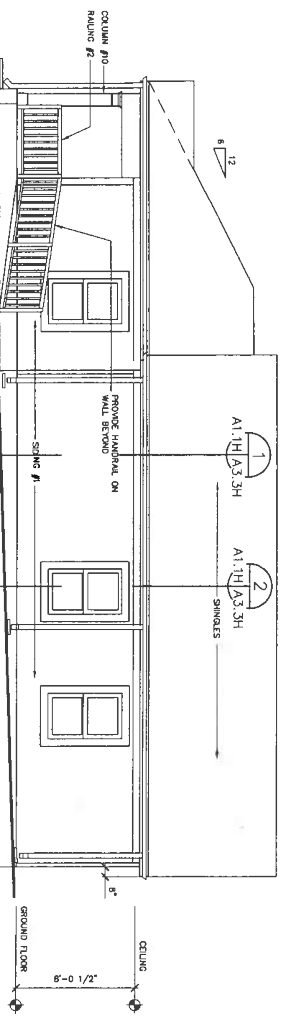
3-BEDROOM H/C BLDG. H - REAR ELEVATION
SCALE: 1/4"=1'-0"



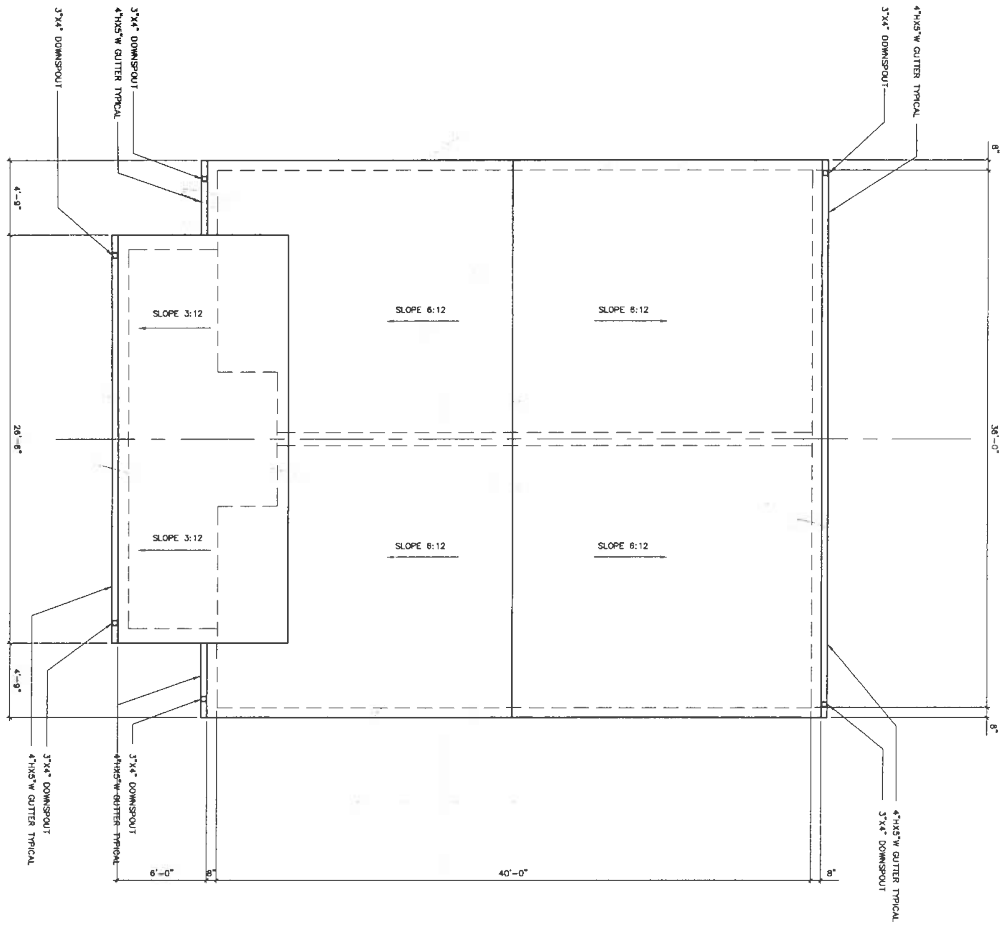
3-BEDROOM H/C BLDG. H - LEFT ELEVATION
SCALE: 1/4"=1'-0"



3-BEDROOM H/C BLDG. H - RIGHT ELEVATION
SCALE: 1/4"=1'-0"



NOTE:
REFER TO VOLUME 3,
DRAWING V03005, SHEET
A0.4 FOR COLUMNS, RAILING,
BRACKET, & MOLDING TYPES.

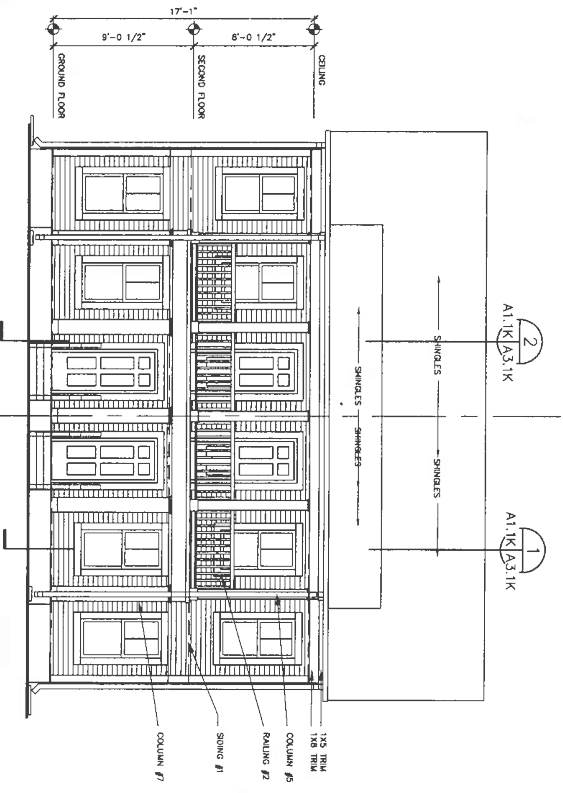


3-BEDROOM BLDG. K - ROOF PLAN

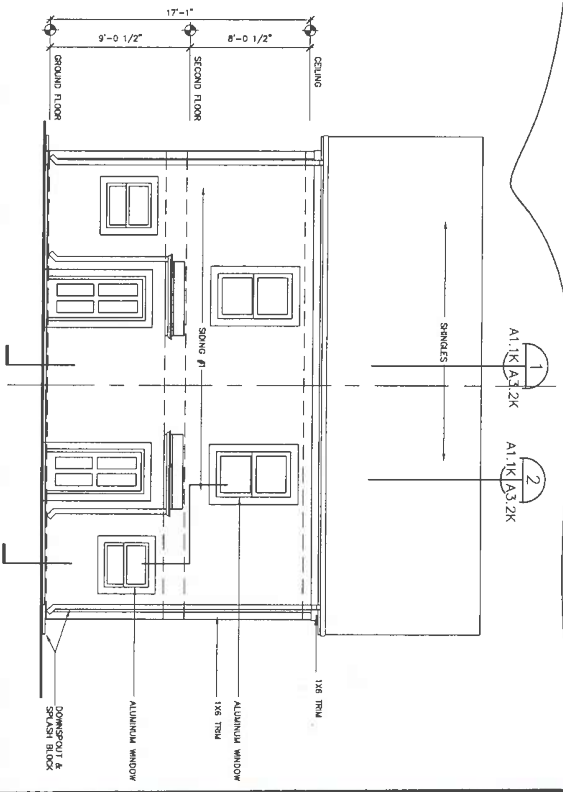
SCALE: 1/4"=1'-0"

DUPLEX

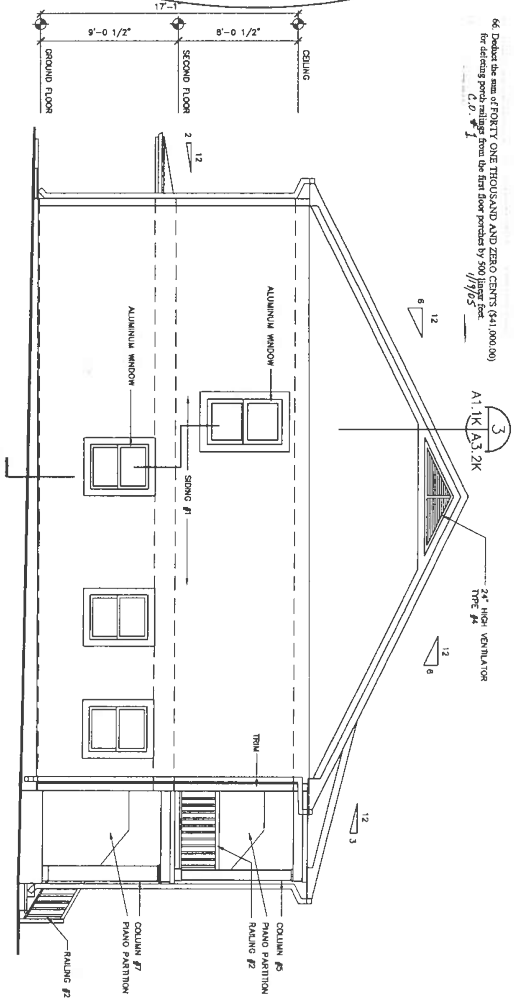
- NOTE:** THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING AS.30 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING AS.30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING AS.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING AS.32 THROUGH AS.35 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
 4. REFER TO DRAWING AS.36 FOR EXTERIOR ELEVATIONS.
 5. REFER TO DRAWING MS.30 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING PS.30 FOR PLUMBING PLANS.
 7. REFER TO DRAWING ES.30 FOR ELECTRICAL PLANS.



3-BEDROOM BLDG. K - FRONT ELEVATION
SCALE: 1/4"=1'-0"
DUPLICATE



3-BEDROOM BLDG. K - REAR ELEVATION
SCALE: 1/4"=1'-0"



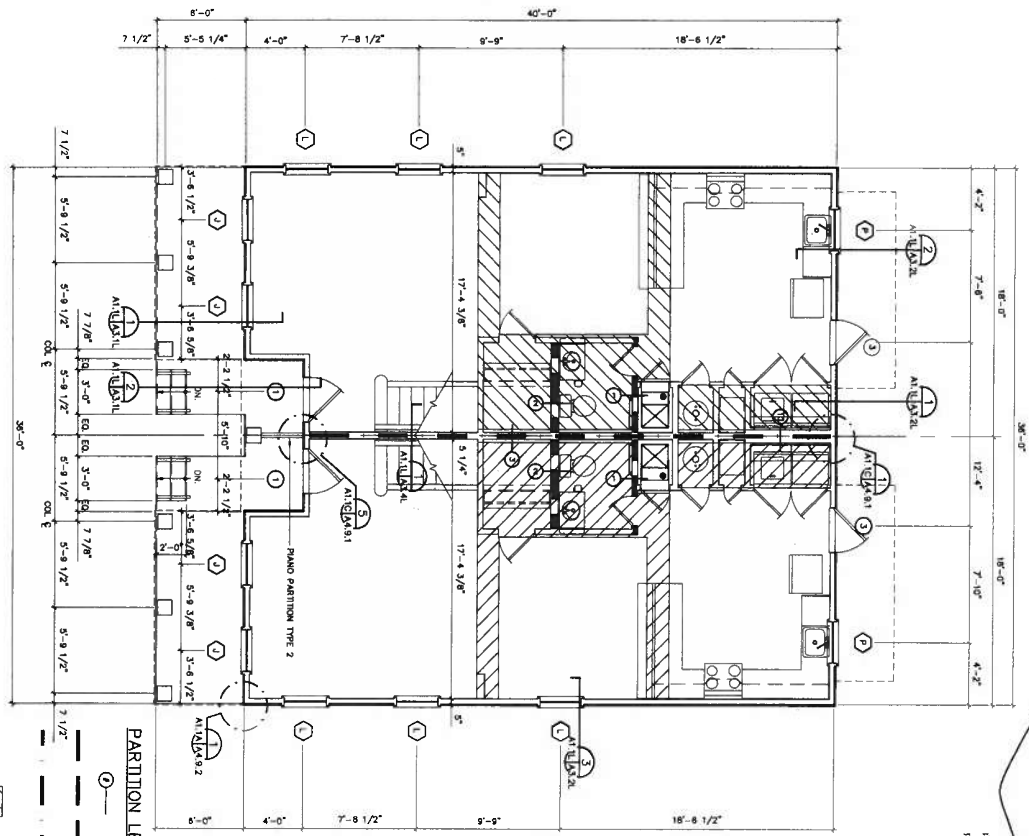
3-BEDROOM BLDG. K - LEFT ELEVATION (RIGHT OPPOSITE)
SCALE: 1/4"=1'-0"

66. Deduct the sum of FORTY ONE THOUSAND AND ZERO CENTS (\$41,000.00) for deducting profit margin from the first floor provided by 500/19/05 C.D. I

NOTE:
REFER TO VOLUME 3,
DRAWING V03005, SHEET
A0.4 FOR COLUMNS, RAILING,
BRACKET, & MOLDING TYPES.

NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE GENERAL BUILDING AND FINISH SCHEDULE. REFER TO DRAWING A5.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE. REFER TO DRAWING A5.32 THROUGH A5.35 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS. REFER TO DRAWING A5.36 AND A5.37 FOR STRUCTURAL PLANS. REFER TO DRAWING P5.30 FOR PLUMBING PLANS. REFER TO DRAWING P5.30 FOR ELECTRICAL PLANS. REFER TO DRAWING A6.5 FOR PLANO PARTITIONS.

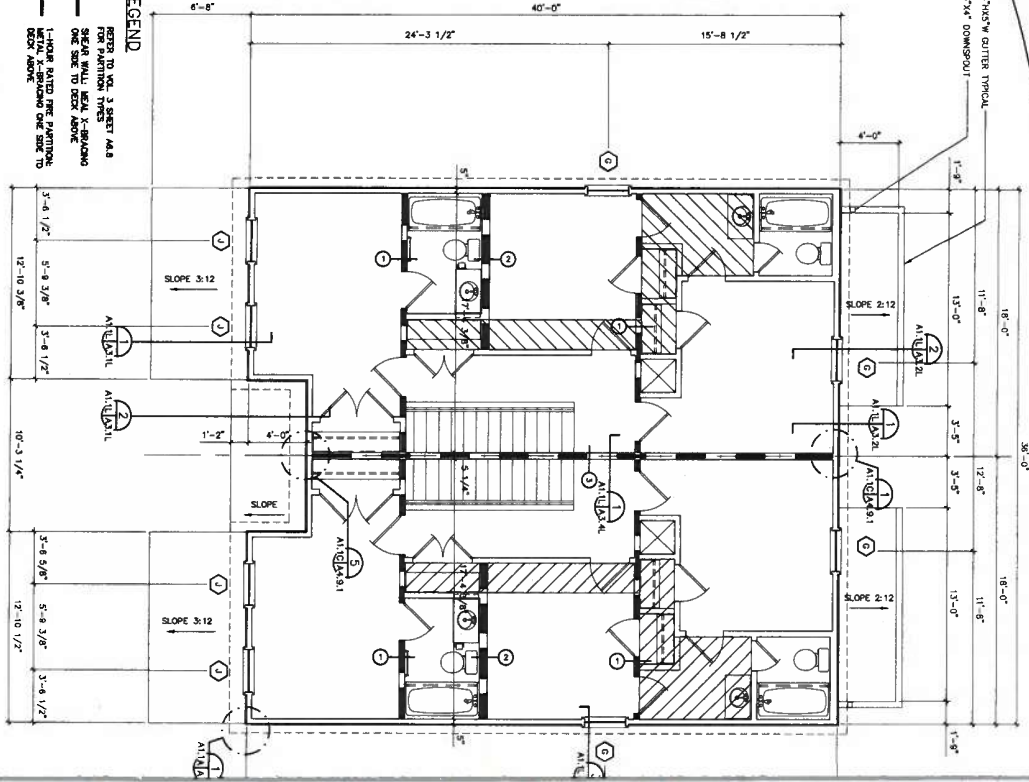
3-BEDROOM BLDG. L - 1ST. FLOOR PLAN
 SCALE 1/4"=1'-0"
 DUPLEX



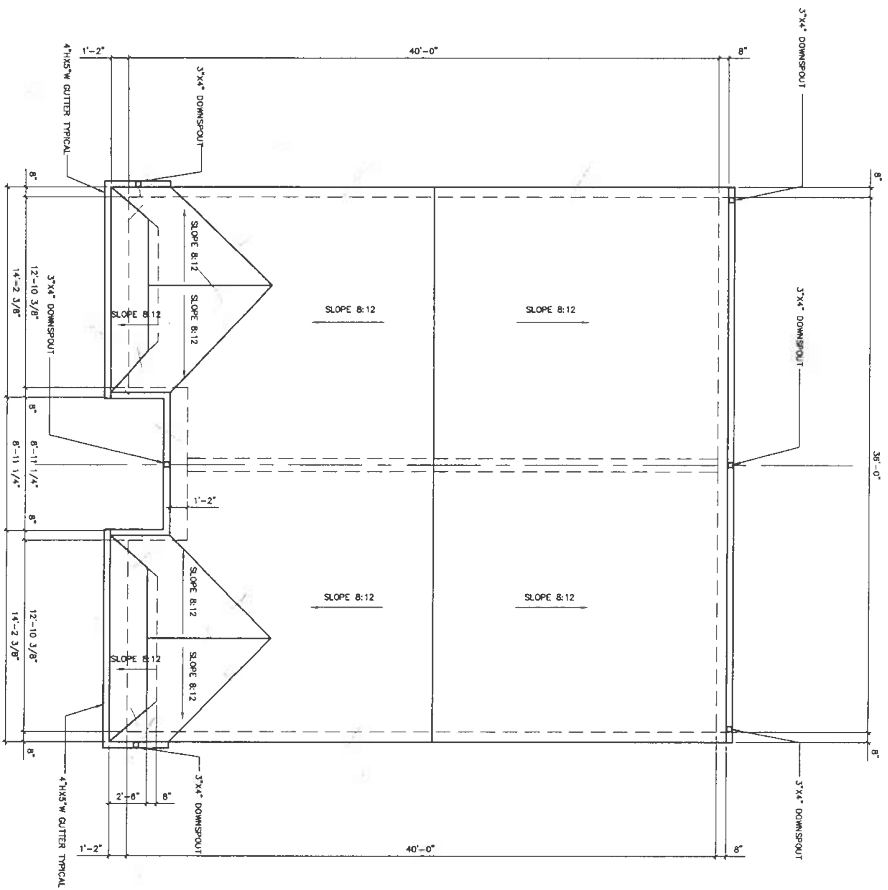
PARTITION LEGEND

- 1. REFER TO SHEET A6.8 FOR PARTITION SCHEDULE
- 2. REFER TO SHEET A6.8 FOR PARTITION SCHEDULE
- 3. REFER TO SHEET A6.8 FOR PARTITION SCHEDULE
- 4. REFER TO SHEET A6.8 FOR PARTITION SCHEDULE
- 5. REFER TO SHEET A6.8 FOR PARTITION SCHEDULE
- 6. REFER TO SHEET A6.8 FOR PARTITION SCHEDULE
- 7. REFER TO SHEET A6.8 FOR PARTITION SCHEDULE
- 8. REFER TO SHEET A6.8 FOR PARTITION SCHEDULE

3-BEDROOM BLDG. L - 2ND. FLOOR PLAN
 SCALE 1/4"=1'-0"
 DUPLEX

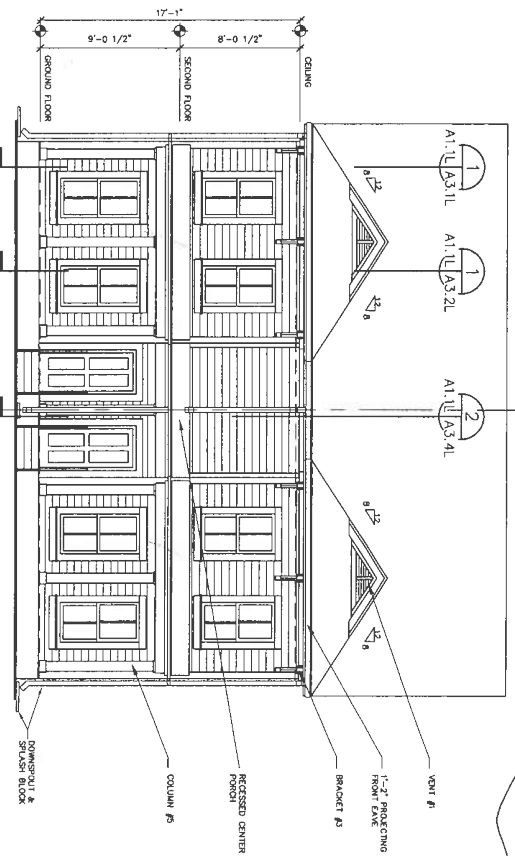


1. REFER TO DRAWING A5.30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING A5.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING A5.32 THROUGH A5.35 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
 4. REFER TO DRAWING A5.36 AND A5.37 FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING P5.30 FOR PLUMBING PLANS.
 6. REFER TO DRAWING P5.30 FOR ELECTRICAL PLANS.
 7. REFER TO DRAWING A6.5 FOR PLANO PARTITIONS.

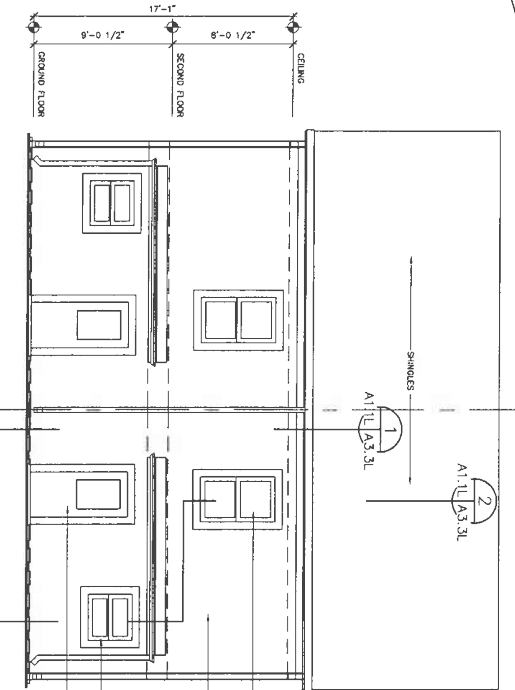


3-BEDROOM BLDG. L - ROOF PLAN
 SCALE: 1/4"=1'-0"
 DUPLEX

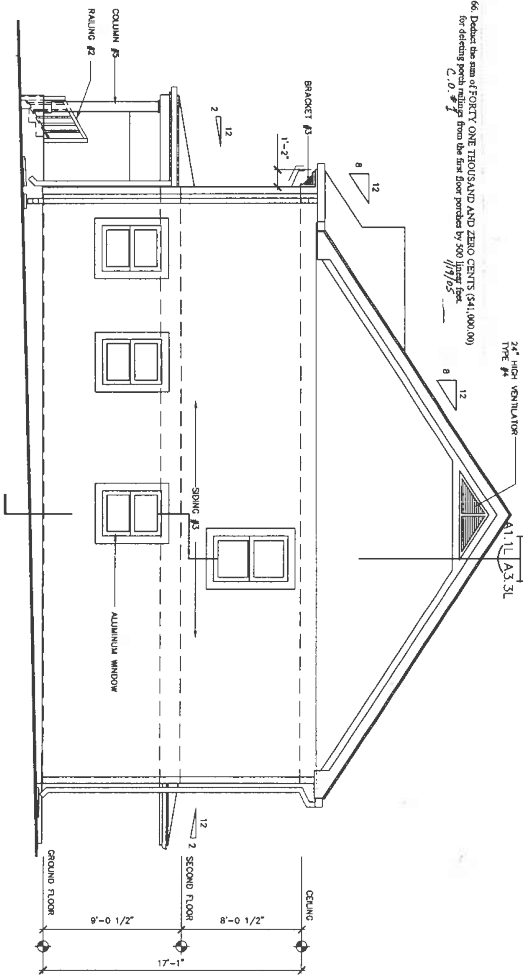
- NOTE:** THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL DIMENSIONS OF THE ROOF PLAN. REFER TO DRAWING PS-30 FOR INTERIOR LAYOUT. REFER TO DRAWING PS-30 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING AS 30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING AS 31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING PS-11 FOR FINISH SCHEDULE.
 4. REFER TO DRAWING S1-11 AND S1-2 FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING MS-30 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING PS-30 FOR PLUMBING PLANS.
 7. REFER TO DRAWING ES-30 FOR ELECTRICAL PLANS.



3-BEDROOM BLDG. L - FRONT ELEVATION
SCALE: 1/4"=1'-0"



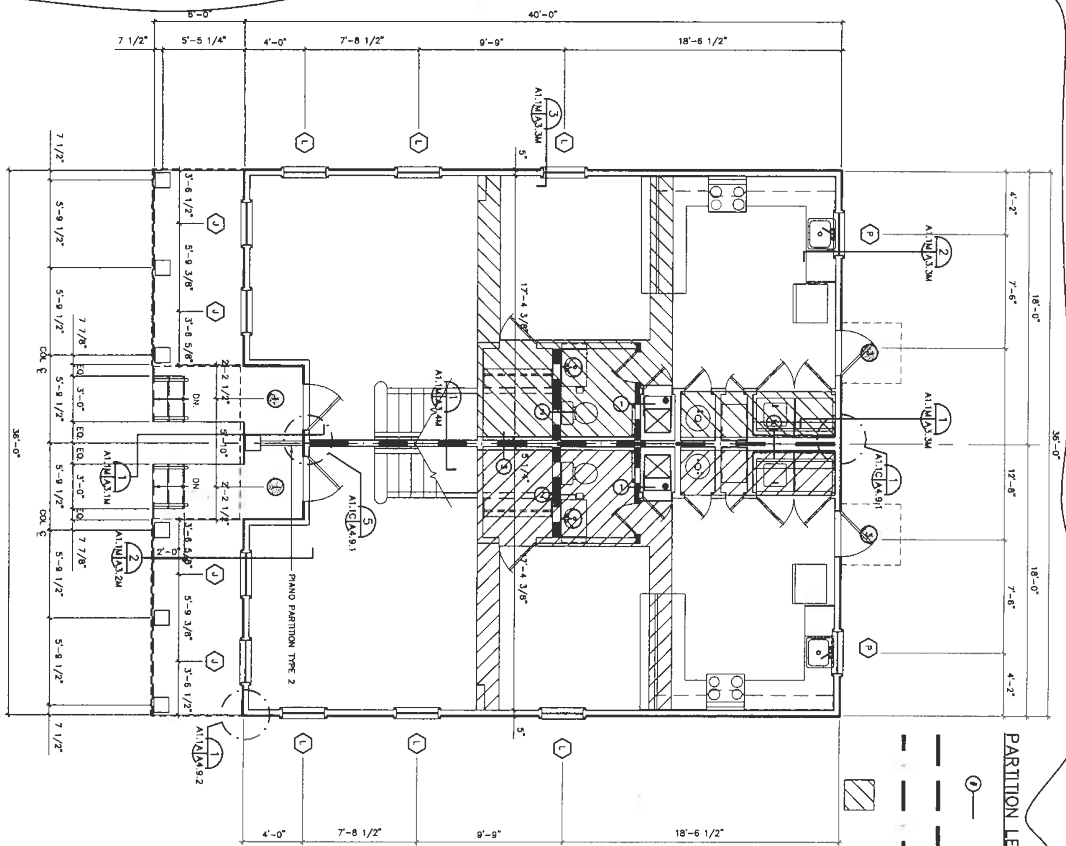
3-BEDROOM BLDG. L - REAR ELEVATION
SCALE: 1/4"=1'-0"



3-BEDROOM BLDG. L - RIGHT ELEVATION (LEFT OPPOSITE)
SCALE: 1/4"=1'-0"

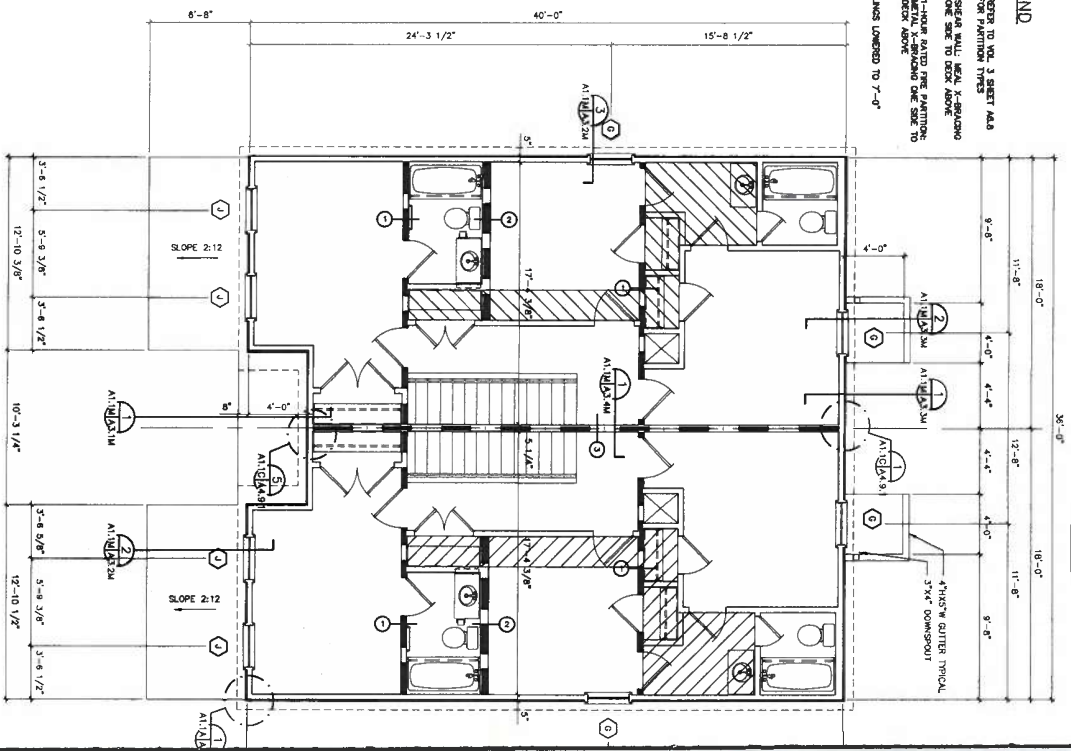
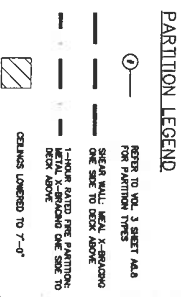
66. Product the name of FORTY ONE THOUSAND AND ZERO CENTY (41,000.00)
for drawing C-10 1/2" from the line book provided by SOO 1/1/10

NOTE:
REFER TO VOLUME 3
DRAWING V03005, SHEET
A0.4 FOR COLUMNS, RAILING,
BRACKET, & MOLDING TYPES.



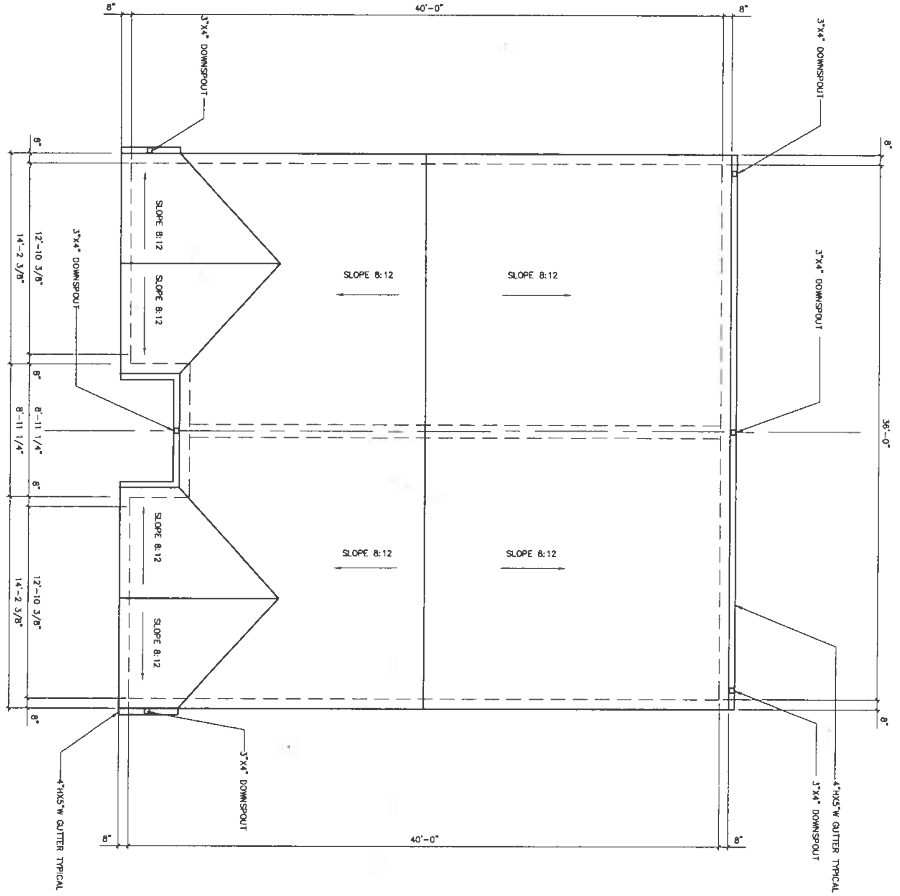
3-BEDROOM BLDG. M - 1ST. FLOOR PLAN
 SCALE: 1/4"=1'-0"
 DUPLEX

- NOTE:** THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL LAYOUT OF THE UNIT. ALL DIMENSIONS ARE TO FINISHED INTERIOR SURFACES UNLESS OTHERWISE NOTED. REFER TO DRAWING A5.10 FOR INTERIOR LAYOUT. DIMENSIONS ARE FROM OUT TO OUT OF FINISHED EXTERIOR WALLS.
1. REFER TO DRAWING A5.30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING A5.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING A5.32 FOR ELECTRICAL SYMBOLS AND STAR SECTIONS.
 4. REFER TO DRAWING A5.17 AND A5.18 FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING A5.30 FOR PLUMBING PLANS.
 6. REFER TO DRAWING E5.30 FOR ELECTRICAL PLANS.
 7. REFER TO DRAWING A5.3 FOR FINISH PARTITIONS.



3-BEDROOM BLDG. M - 2ND. FLOOR PLAN
 SCALE: 1/4"=1'-0"
 DUPLEX

- NOTE:** THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL LAYOUT OF THE UNIT. ALL DIMENSIONS ARE TO FINISHED INTERIOR SURFACES UNLESS OTHERWISE NOTED. REFER TO DRAWING A5.10 FOR INTERIOR LAYOUT. DIMENSIONS ARE FROM OUT TO OUT OF FINISHED EXTERIOR WALLS.
1. REFER TO DRAWING A5.30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING A5.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING A5.32 FOR ELECTRICAL SYMBOLS AND STAR SECTIONS.
 4. REFER TO DRAWING A5.17 AND A5.18 FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING A5.30 FOR PLUMBING PLANS.
 6. REFER TO DRAWING E5.30 FOR ELECTRICAL PLANS.
 7. REFER TO DRAWING A5.3 FOR FINISH PARTITIONS.

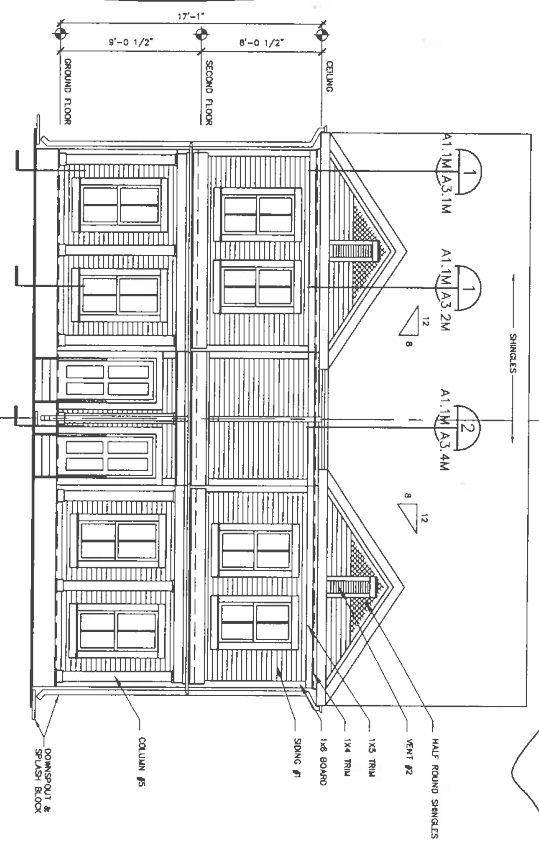


3-BEDROOM BLDG. M - ROOF PLAN

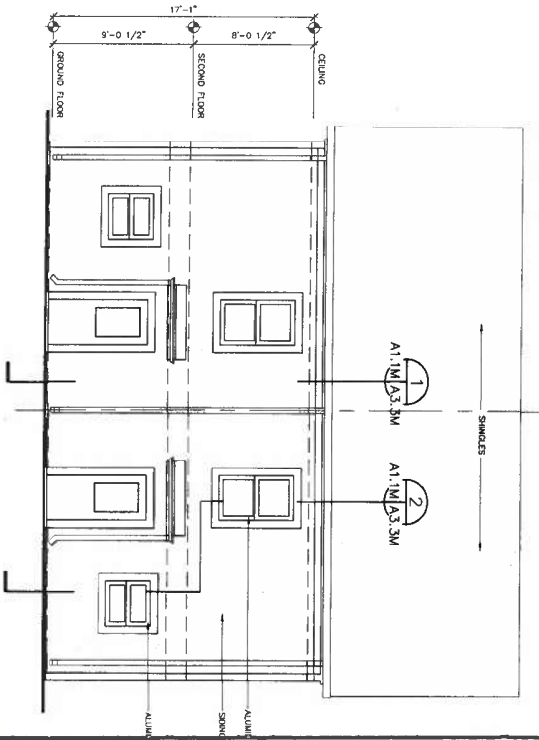
SCALE: 1/4" = 1'-0"

DUPLEX

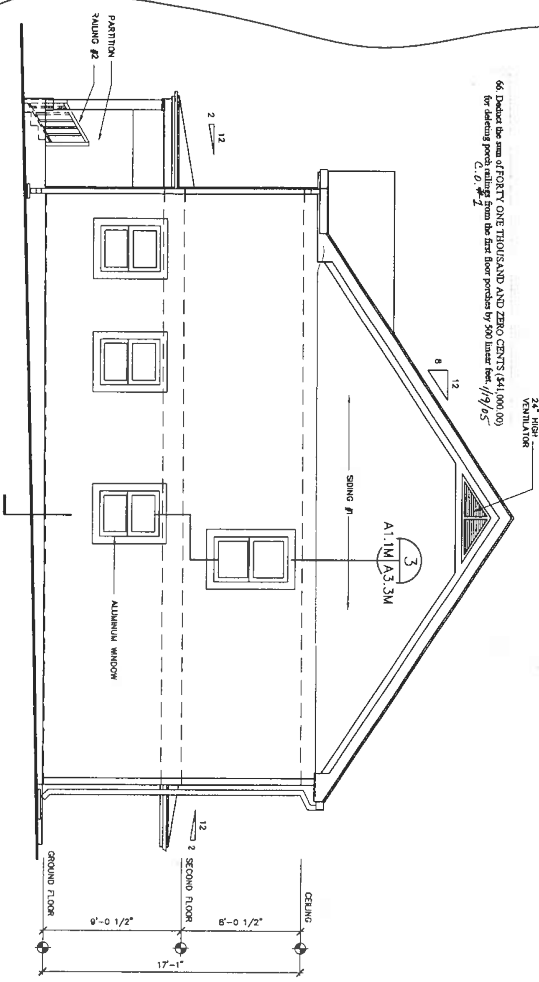
- NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL ROOF PLAN, SLOPE, DRAINAGE, AND DOWNSPOUT LOCATIONS. FOR FINISH AND INTERIOR LOCATIONS, REFER TO DRAWING M-30 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING M-30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING M-31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING M-32 FOR FINISH SCHEDULE FOR ELEMENTS AND STAIR SECTIONS.
 4. REFER TO DRAWING S11.4 AND S12.4 FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING M-30 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING P-30 FOR PLUMBING PLANS.
 7. REFER TO DRAWING E-30 FOR ELECTRICAL PLANS.



3-BEDROOM BLDG. M - FRONT ELEVATION
 SCALE: 1/4"=1'-0"
 DUPLEX



3-BEDROOM BLDG. M - REAR ELEVATION
 SCALE: 1/4"=1'-0"



3-BEDROOM BLDG. M - RIGHT ELEVATION (LEFT OPPOSITE)
 SCALE: 1/4"=1'-0"

66. Indicate the area of FRONTY CORNER TRIMMED AND ZERO CORNER (SEE 000.00) for siding piece ending from the first floor provide by 500 linear feet. 1/4"=1'-0"

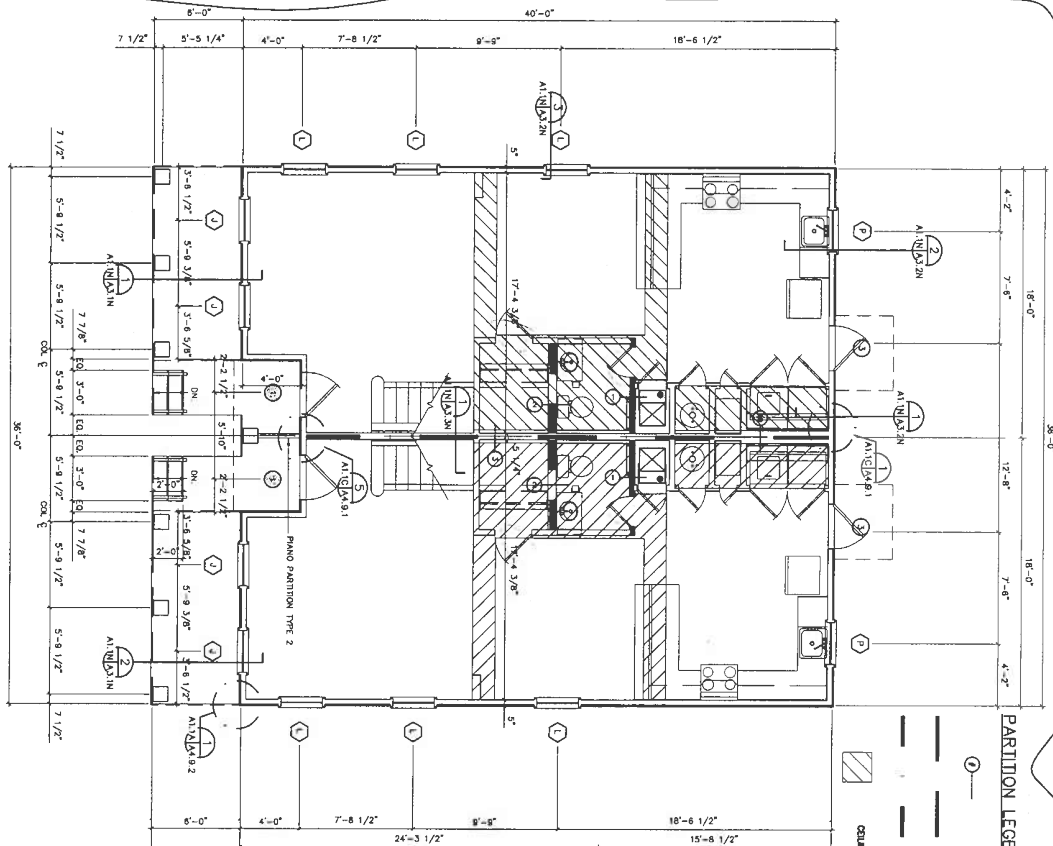
NOTE:
 REFER TO VOLUME 3,
 DRAWING VO3005, SHEET
 AO.4 FOR COLUMNS, RAILING,
 BRACKET, & MOLDING TYPES.

NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALLS, AND FINISH SCHEDULES. REFER TO DRAWING A5.30 FOR INTERIOR LAYOUT DIMENSIONS ARE FROM OUT TO OUT OF FINISHED EXTERIOR WALLS.

3-BEDROOM BLDG. N - 1ST. FLOOR PLAN
 SCALE: 1/4"=1'-0"

DUPLEX

1. REFER TO DRAWING A5.30 FOR 1/4" SCALE UNIT PLAN.
2. REFER TO DRAWINGS A5.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
3. REFER TO DRAWINGS A5.32 THROUGH A5.35 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
4. REFER TO DRAWING S1.1 N AND S1.2 N FOR STRUCTURAL PLANS.
5. REFER TO DRAWING S1.1 N AND S1.2 N FOR STRUCTURAL PLANS.
6. REFER TO DRAWING P5.30 FOR PLUMBING PLANS.
7. REFER TO DRAWING E5.30 FOR ELECTRICAL PLANS.
8. REFER TO DRAWING A6.8 FOR PIANO PARTITIONS.



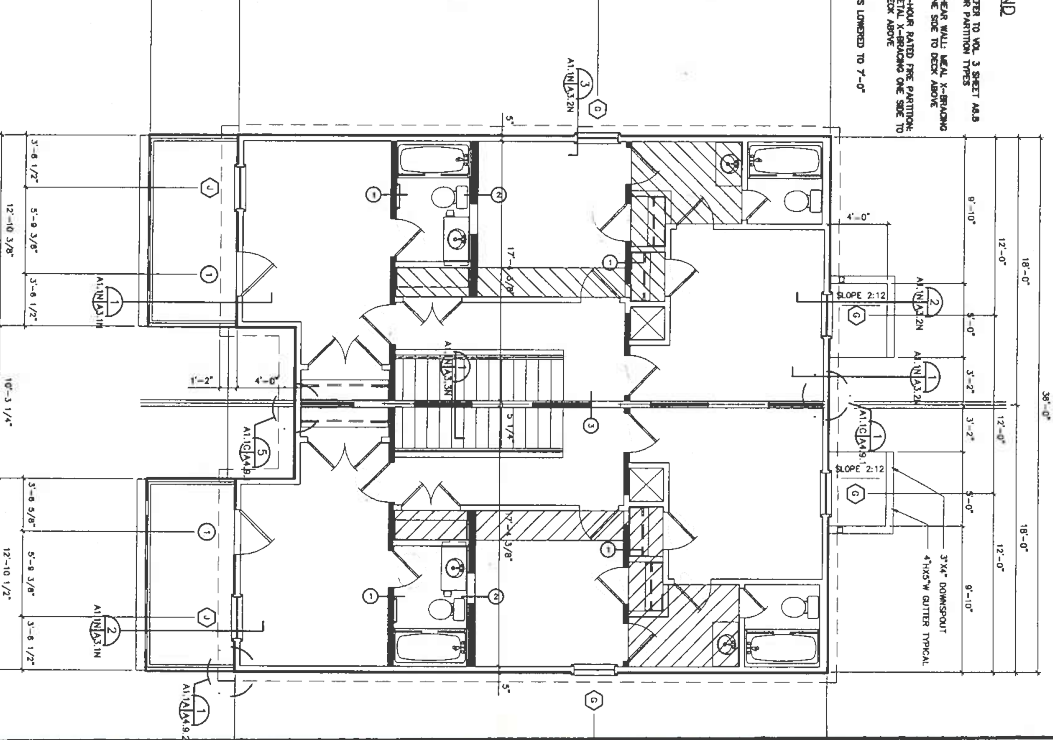
PARTITION LEGEND

- ① REFER TO UNIT 3 SHEET A6.8 FOR PIANO PARTITION TYPE 2
- ② REFER TO UNIT 3 SHEET A6.8 FOR PIANO PARTITION TYPE 1
- ③ 1" THICK RATED FIRE PARTITION WITH 1/2" AIR GAP ABOVE AND BELOW SEE S1.1 N
- ④ COLUMNS LARGED TO 7'-0"

3-BEDROOM BLDG. N - 2ND. FLOOR PLAN
 SCALE: 1/4"=1'-0"

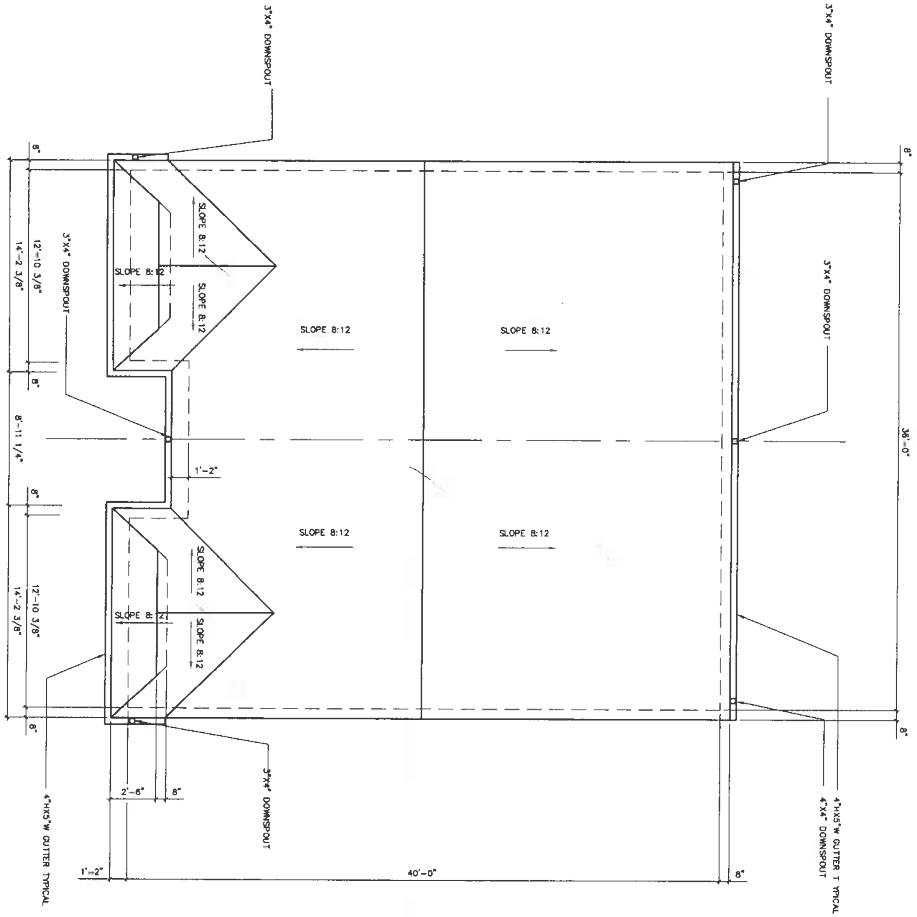
DUPLEX

1. REFER TO DRAWING A5.30 FOR 1/4" SCALE UNIT PLAN.
2. REFER TO DRAWINGS A5.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
3. REFER TO DRAWINGS A5.32 THROUGH A5.35 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
4. REFER TO DRAWING S1.1 N AND S1.2 N FOR STRUCTURAL PLANS.
5. REFER TO DRAWING S1.1 N AND S1.2 N FOR STRUCTURAL PLANS.
6. REFER TO DRAWING P5.30 FOR PLUMBING PLANS.
7. REFER TO DRAWING E5.30 FOR ELECTRICAL PLANS.
8. REFER TO DRAWING A6.8 FOR PIANO PARTITIONS.



PARTITION LEGEND

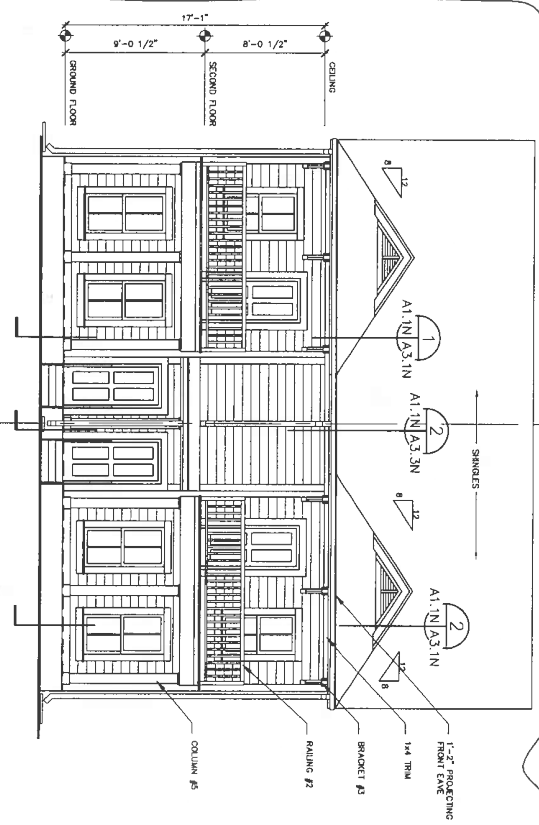
- ① REFER TO UNIT 3 SHEET A6.8 FOR PIANO PARTITION TYPE 2
- ② REFER TO UNIT 3 SHEET A6.8 FOR PIANO PARTITION TYPE 1
- ③ 1" THICK RATED FIRE PARTITION WITH 1/2" AIR GAP ABOVE AND BELOW SEE S1.1 N
- ④ COLUMNS LARGED TO 7'-0"



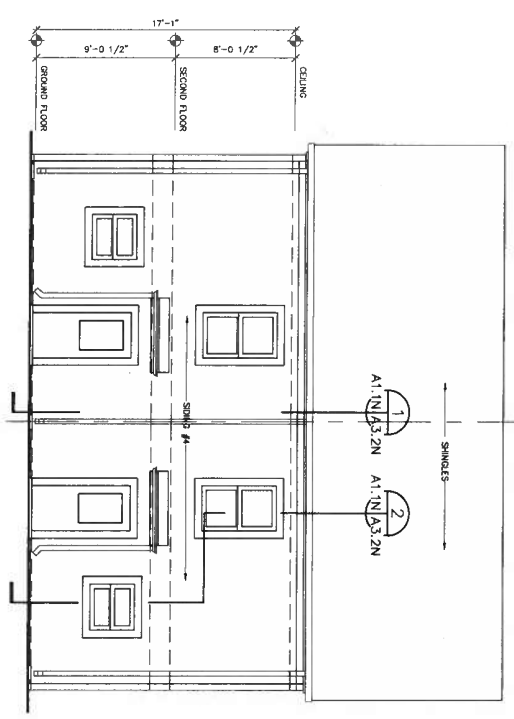
3-BEDROOM BLDG. N - ROOF PLAN

SCALE: 1/4"=1'-0"
DUPLICATE

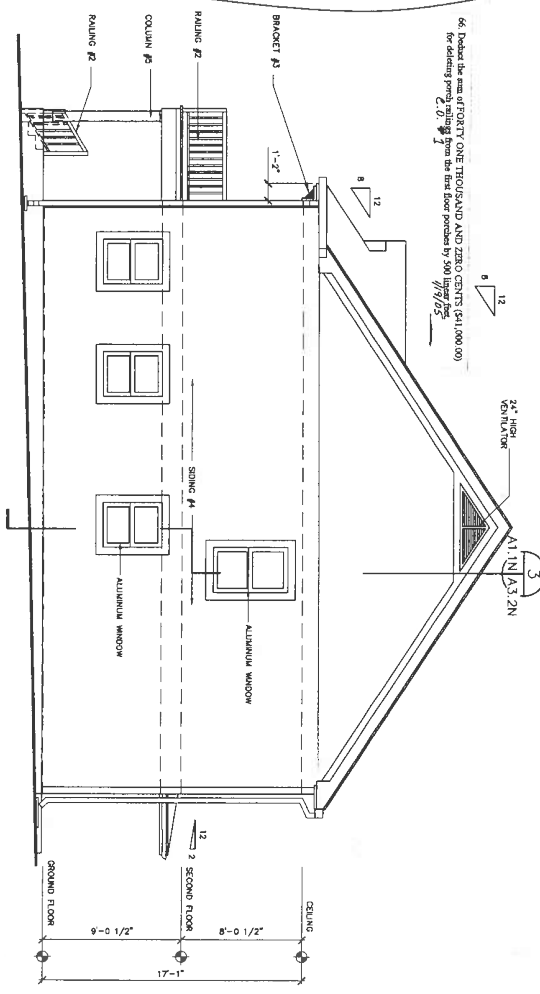
- NOTE:** THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING A5.30 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING A5.30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING A5.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING A5.32 THROUGH A5.35 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
 4. REFER TO DRAWING S1.11 FOR FINISH SCHEDULE.
 5. REFER TO DRAWING S1.12 FOR FINISH SCHEDULE.
 6. REFER TO DRAWING P5.30 FOR PLUMBING PLANS.
 7. REFER TO DRAWING E5.30 FOR ELECTRICAL PLANS.



3-BEDROOM BLDG. N - FRONT ELEVATION
SCALE: 1/4"=1'-0"



3-BEDROOM BLDG. N - REAR ELEVATION
SCALE: 1/4"=1'-0"



3-BEDROOM BLDG. N - RIGHT ELEVATION (LEFT OPPOSITE)
SCALE: 1/4"=1'-0"

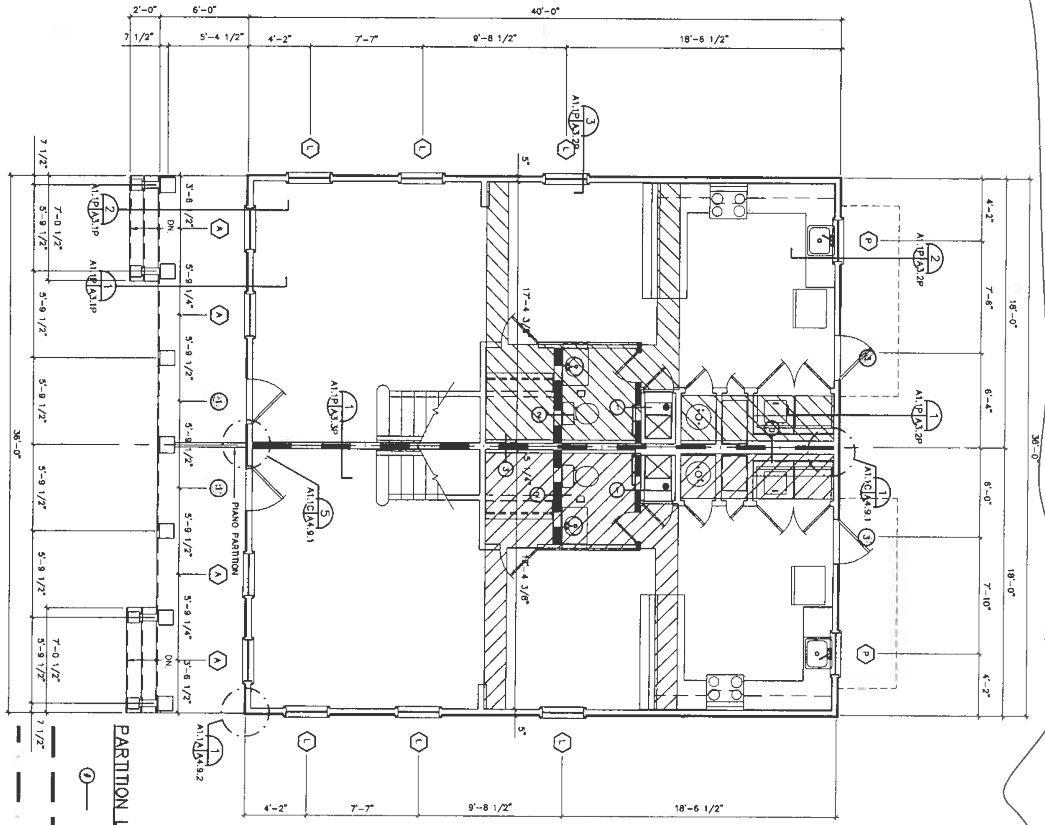
64. Debar the use of PROPERTY ONE THOUSAND AND ZERO, CITY OF LOS ANGELES (S41,000,000) for existing property within the first floor provided by 5/10/2015.

NOTE:
REFER TO VOLUME 3
DRAWING VO3005, SHEET
A0.4 FOR COLUMNS, RAILING,
BRACKET, & MOLDING TYPES.

NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING FOOTPRINT, EXTERIOR PARTITIONS, SHEET WALLS, EXTERIOR FINISHES, AND EXTERIOR ELEVATIONS AND STAIR SECTIONS. REFER TO DRAWING AS 10 FOR INTERIOR LAYOUT. DIMENSIONS ARE FROM OUT TO OUT OF FINISHED EXTERIOR WALLS.

3-BEDROOM BLDG. P - 1ST. FLOOR PLAN
SCALE: 1/4"=1'-0"
DUPLICATE

1. REFER TO DRAWING AS 30 FOR 1/4" SCALE UNIT PLAN.
2. REFER TO DRAWING AS 31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
3. REFER TO DRAWING AS 32 FOR EXTERIOR ELEVATIONS AND STAIR SECTIONS.
4. REFER TO DRAWING S11.7 AND S12.7 FOR STRUCTURAL PLANS.
5. REFER TO DRAWING M3.30 FOR MECHANICAL PLANS.
6. REFER TO DRAWING P3.30 FOR PLUMBING PLANS.
7. REFER TO DRAWING E3.30 FOR ELECTRICAL PLANS.
8. REFER TO DRAWING A3.30 FOR FINISH PARTITIONS.
9. REFER TO DRAWING A3.30 FOR PLANO PARTITIONS.

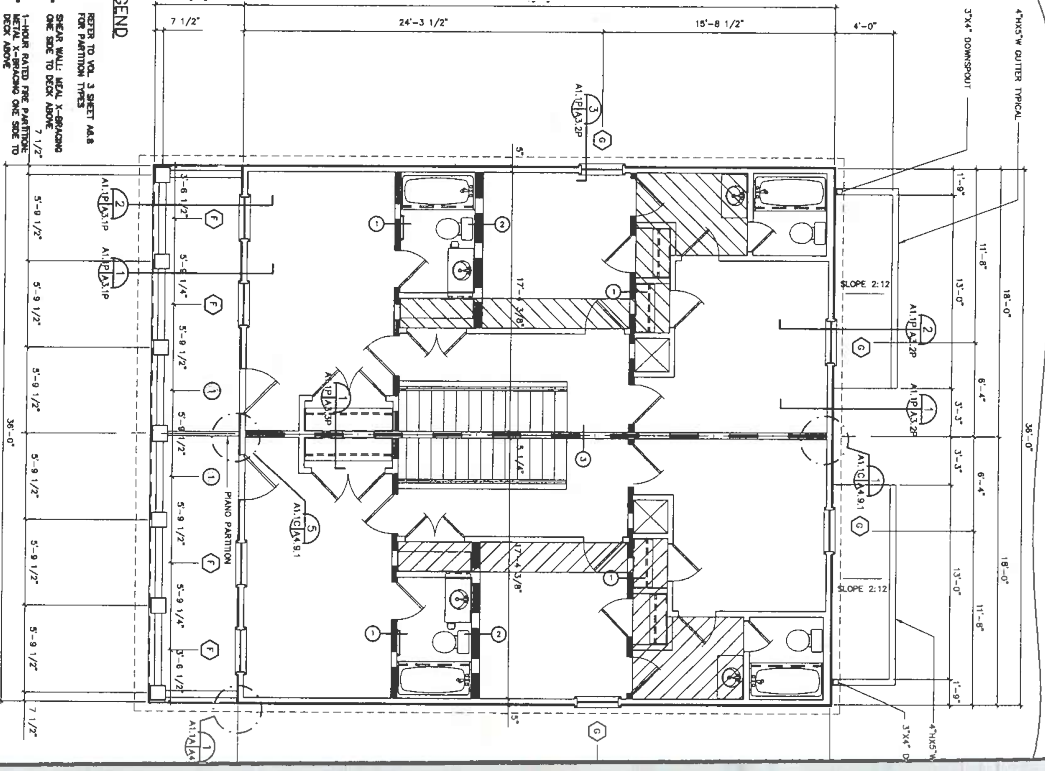


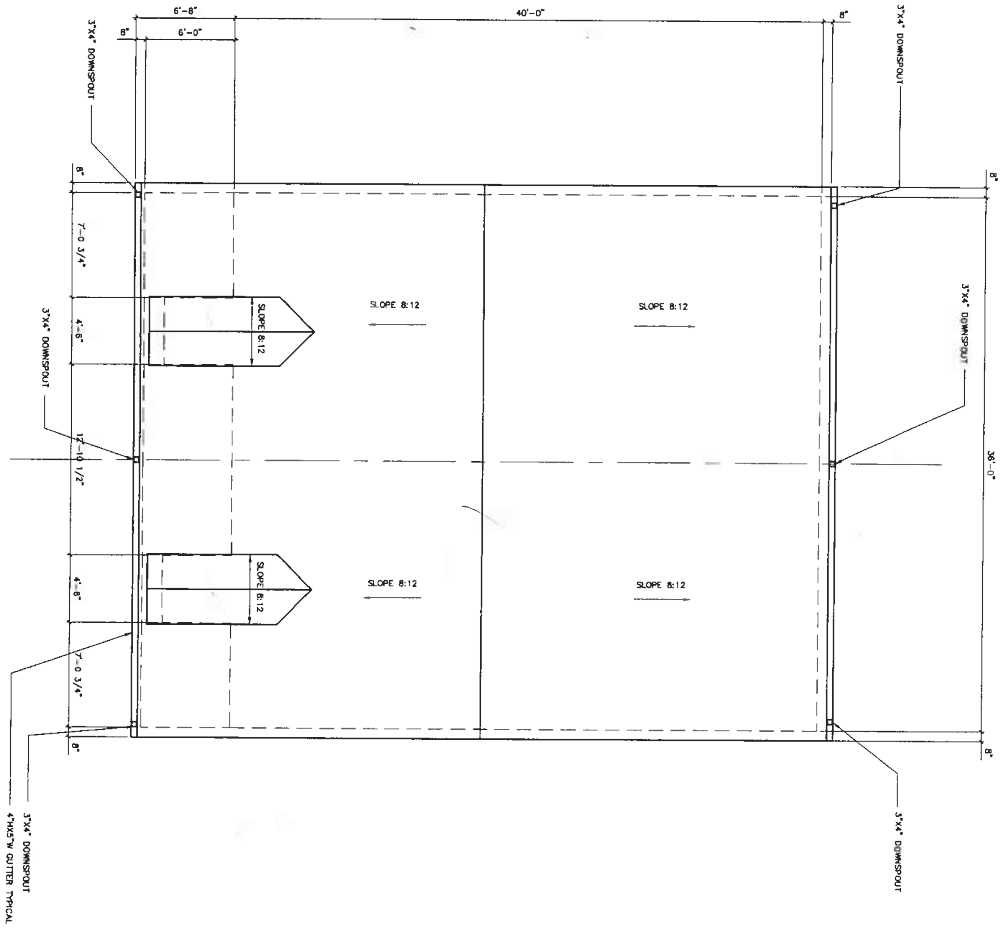
PARTITION LEGEND

- 1. REFER TO VOL. 3 SHEET M48 FOR PARTITION TYPES
- 2. SEE W/LL. AND X-SECTION ONE SIDE TO EACH ABOVE. 7/12"
- 3. 1-HOUR RATED FIRE PARTITION. SEE W/LL. AND X-SECTION ONE SIDE TO EACH ABOVE. 7/12"
- 4. CHANGES LONGER TO 7'-0"

3-BEDROOM BLDG. P - 2ND. FLOOR PLAN
SCALE: 1/4"=1'-0"
DUPLICATE

1. REFER TO DRAWING AS 30 FOR 1/4" SCALE UNIT PLAN.
2. REFER TO DRAWING AS 31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
3. REFER TO DRAWING AS 32 FOR EXTERIOR ELEVATIONS AND STAIR SECTIONS.
4. REFER TO DRAWING S11.7 AND S12.7 FOR STRUCTURAL PLANS.
5. REFER TO DRAWING M3.30 FOR MECHANICAL PLANS.
6. REFER TO DRAWING P3.30 FOR PLUMBING PLANS.
7. REFER TO DRAWING E3.30 FOR ELECTRICAL PLANS.
8. REFER TO DRAWING A3.30 FOR FINISH PARTITIONS.
9. REFER TO DRAWING A3.30 FOR PLANO PARTITIONS.

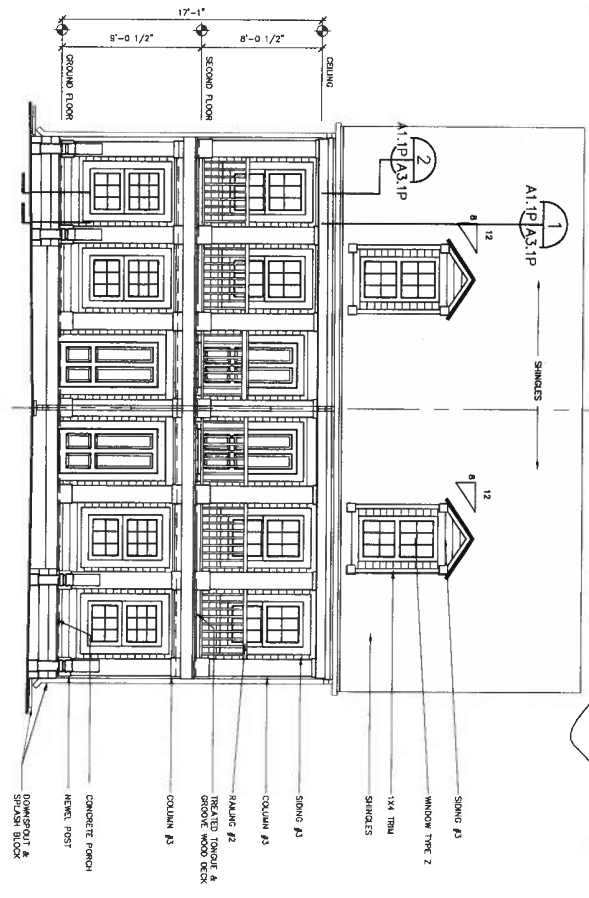




3-BEDROOM BLDG. P - ROOF PLAN
 DUPLEX

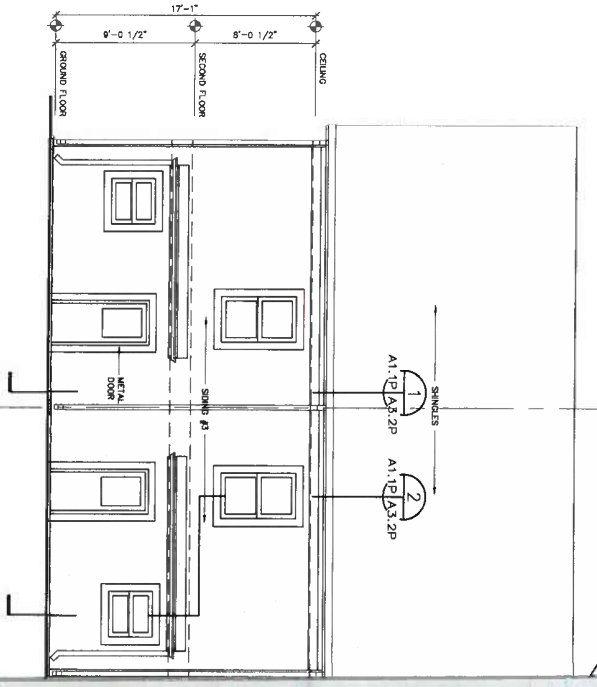
SCALE: 1/4"=1'-0"

- NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, AND THE LOCATION OF ALL EXTERIOR AND INTERIOR OPENINGS. REFER TO DRAWING AS.30 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING AS.30 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING AS.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING AS.32 THROUGH AS.35 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
 4. REFER TO DRAWING AS.36 FOR FINISH SCHEDULE.
 5. REFER TO DRAWING AS.30 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING PS.30 FOR PLUMBING PLANS.
 7. REFER TO DRAWING ES.30 FOR ELECTRICAL PLANS.



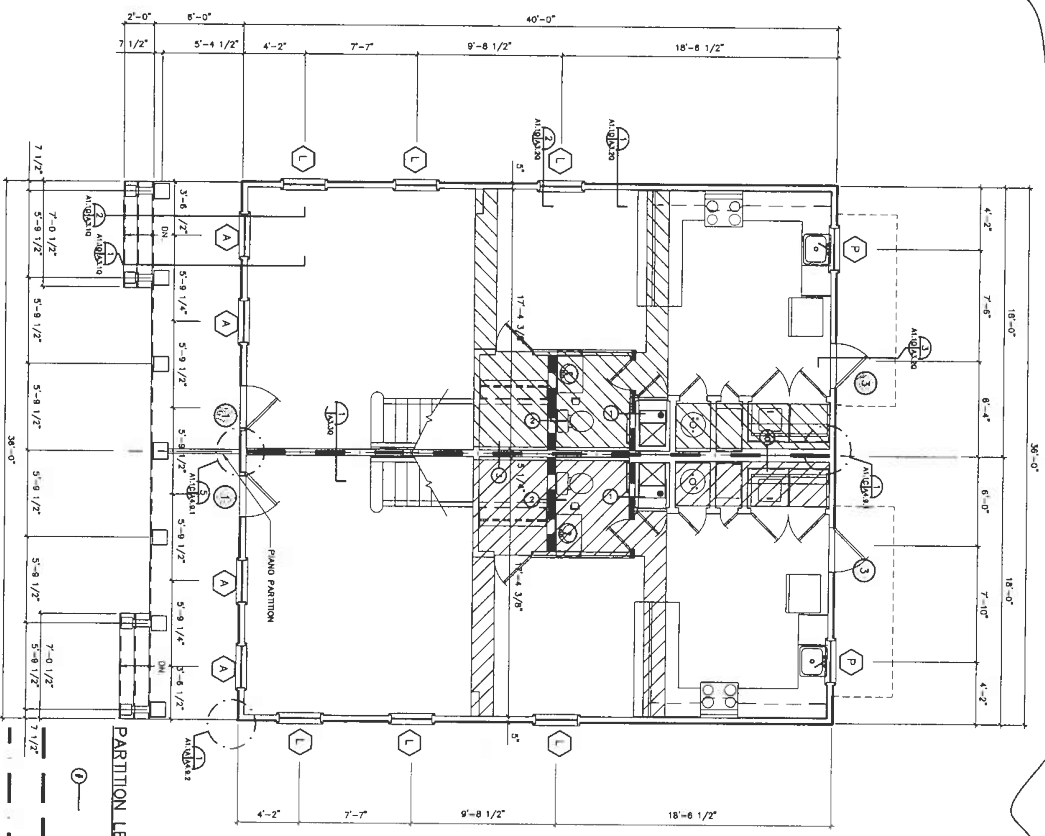
3-BEDROOM BLDG. P - FRONT ELEVATION
SCALE: 1/4"=1'-0"

66. Deduct the sum of FORTY ONE THOUSAND AND ZERO CENTS (\$41,000.00) for distress per from the true floor proceeds by 200 1/16 per



3-BEDROOM BLDG. P - REAR ELEVATION
SCALE: 1/4"=1'-0"

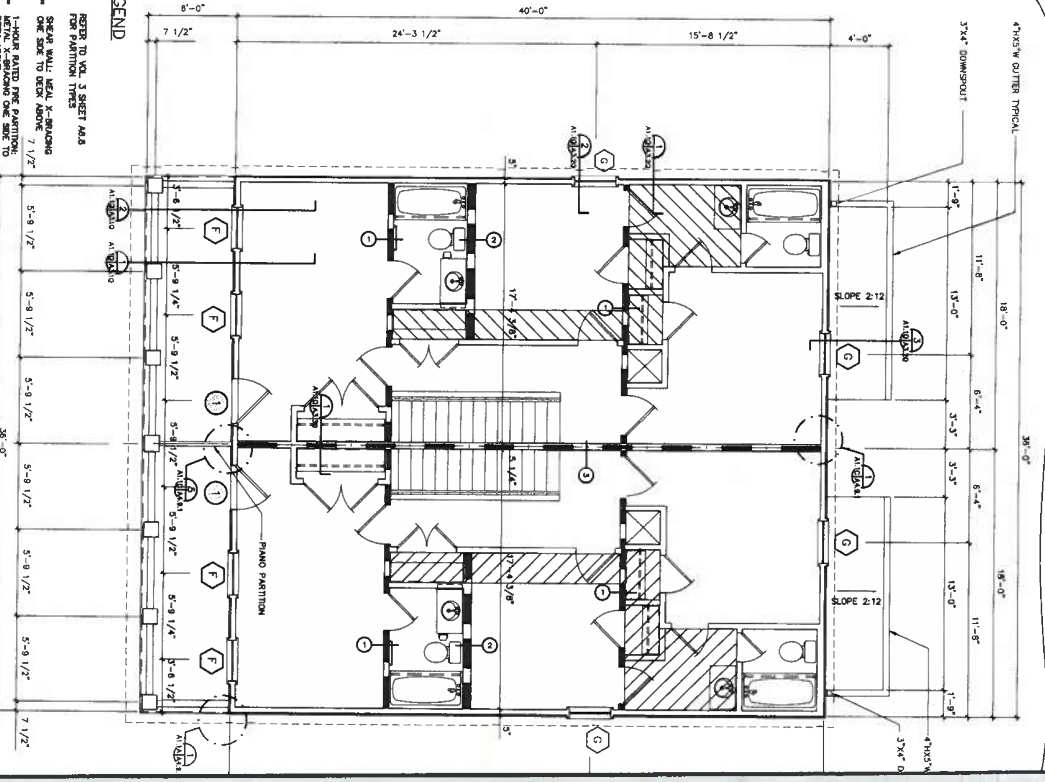
NOTE: REFER TO VOLUME 3, DRAWING V03005, SHEET A0.4 FOR COLUMNS, RAILING, BRACKET, & MOLDING TYPES.



3-BEDROOM BLDG. Q - 1ST. FLOOR PLAN
SCALE: 1/4"=1'-0"
DUPLX

NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS ARE FROM OUT TO OUT OF FINISHED EXTERIOR WALLS.

1. REFER TO DRAWING A3.30 FOR 1/4" SCALE UNIT PLAN.
2. REFER TO DRAWING A3.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
3. REFER TO DRAWING A3.32 FOR PARTITION TYPES AND STAIR SECTIONS.
4. REFER TO DRAWING S1.1.0 AND S1.2.0 FOR STRUCTURAL PLANS.
5. REFER TO DRAWING P3.30 FOR PLUMBING PLANS.
6. REFER TO DRAWING A4.8 FOR PLANO PARTITIONS.



3-BEDROOM BLDG. Q - 2ND. FLOOR PLAN
SCALE: 1/4"=1'-0"
DUPLX

1. REFER TO DRAWING A3.30 FOR 1/4" SCALE UNIT PLAN.
2. REFER TO DRAWING A3.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
3. REFER TO DRAWING A3.32 FOR PARTITION TYPES AND STAIR SECTIONS.
4. REFER TO DRAWING S1.1.0 AND S1.2.0 FOR STRUCTURAL PLANS.
5. REFER TO DRAWING P3.30 FOR PLUMBING PLANS.
6. REFER TO DRAWING A4.8 FOR PLANO PARTITIONS.

PARTITION LEGEND

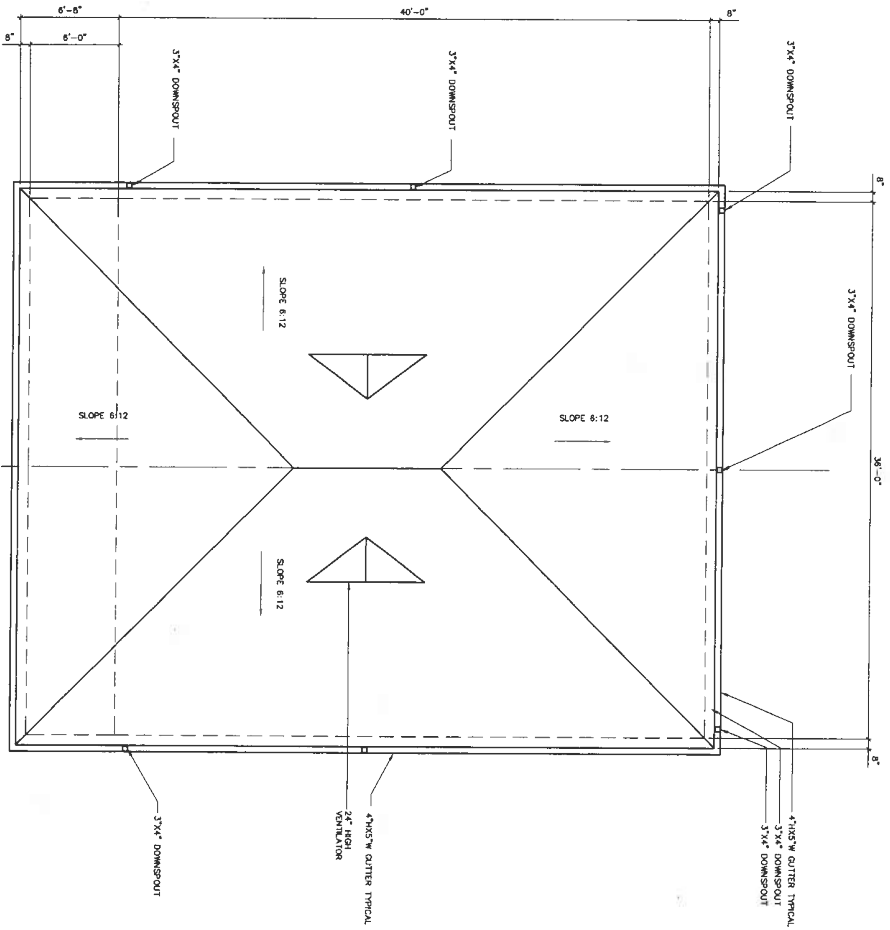
- REFER TO VOL. 3 SHEET A4.8 FOR PARTITION TYPES
- ▨ SHEAR WALL, SEE A.3.30 FOR PARTITION TYPES
- ▤ ONE SIDE TO DECK ABOVE
- ▥ OTHER SIDE TO DECK ABOVE
- ▧ DEMONS LIMITED TO 7'-0"

4" MAX. W. OTHER TYPICAL

3" X 4" DIMENSION

SLOPE 2:12

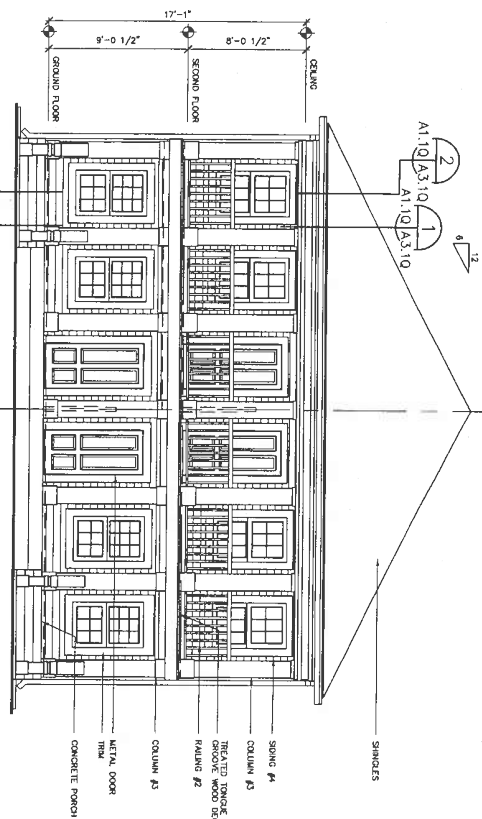
3" X 4" DIMENSION



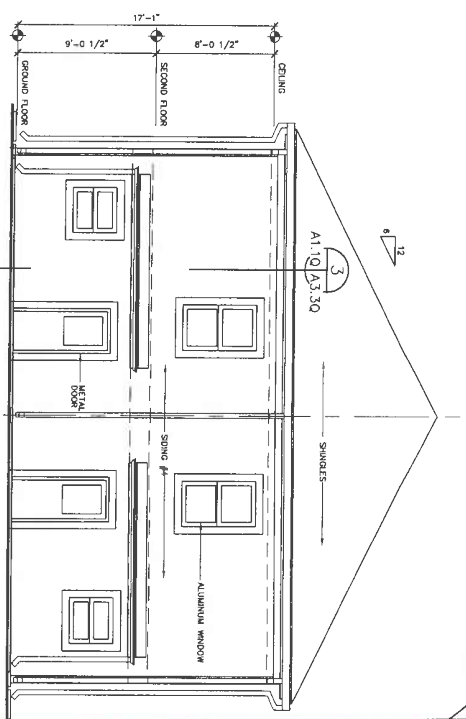
3-BEDROOM BLDG. Q - ROOF PLAN
 DUPEX

SCALE: 1/4"=1'-0"

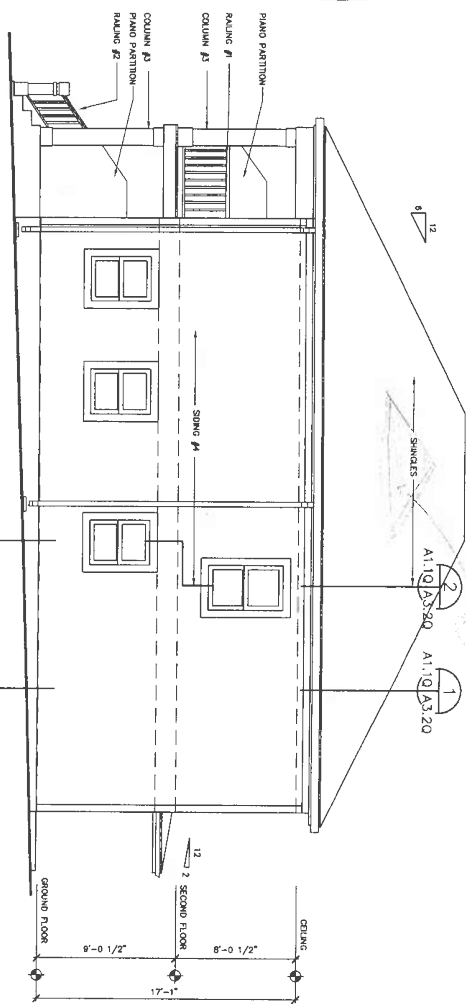
- NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING LAYOUT, FIRE RATED PARTITIONS, SHEAR WALL LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING AS.30 FOR INTERIOR LAYOUT.
1. REFER TO DRAWING ES.30 FOR 1/4" SCALE LIFT PLAN.
 2. REFER TO DRAWING AS.31 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING AS.32 THROUGH AS.35 FOR INTERIOR ELEVATIONS AND STAIR SECTIONS.
 4. REFER TO DRAWING ST.1.0 AND ST.2.0 FOR STRUCTURAL PLANS.
 5. REFER TO DRAWING ST.1.0 AND ST.2.0 FOR STAIRS.
 6. REFER TO DRAWING PS.30 FOR PLUMBING PLANS.
 7. REFER TO DRAWING ES.30 FOR ELECTRICAL PLANS.



3-BEDROOM BLDG. Q - FRONT ELEVATION
SCALE: 1/4"=1'-0"



3-BEDROOM BLDG. Q - REAR ELEVATION
SCALE: 1/4"=1'-0"



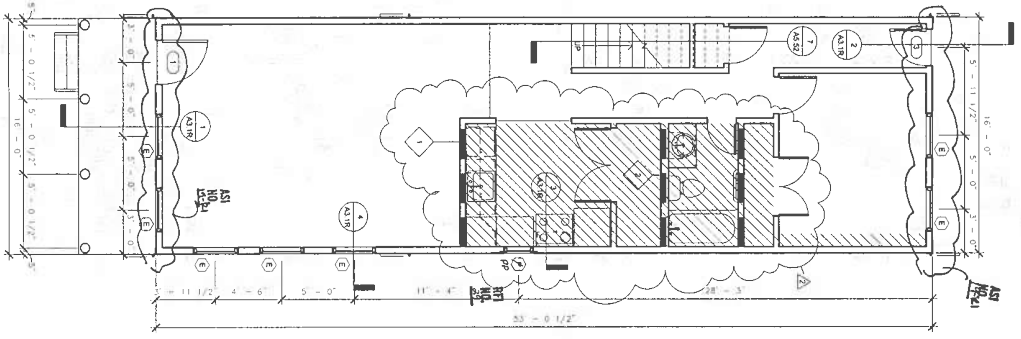
3-BEDROOM BLDG. Q - RIGHT ELEVATION (LEFT OPPOSITE)
SCALE: 1/4"=1'-0"

56. Parcel data from 44 FORTY ONE THOUSAND AND ZERO CENTS (44,000.00)
for recording period 07/07/07 to 07/07/07 per San Jose parcel 17,500 Volume 17/17/07

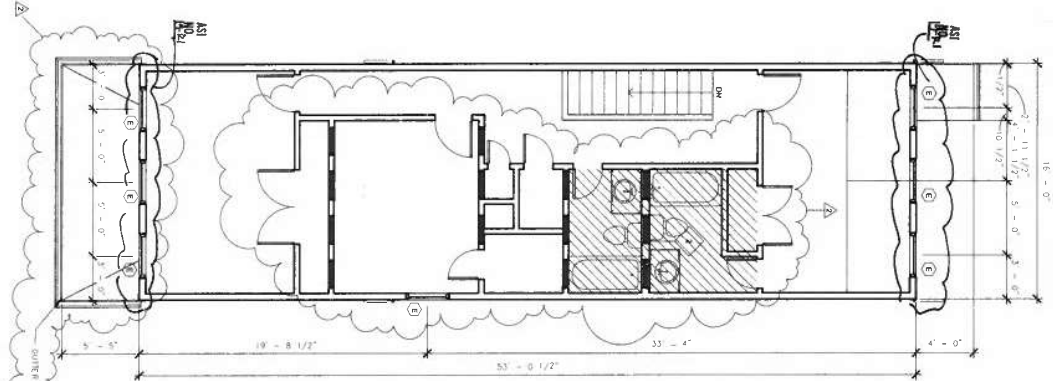
NOTE:
REFER TO VOLUME 3,
DRAWING V03005, SHEET
A0.4 FOR COLUMNS, RAILING,
BRACKET, & MOLDING TYPES.

60 Add the sum of TWENTY SIX THOUSAND EIGHT HUNDRED TWENTY DOLLARS AND ZERO CENTS (\$26,820.00) for adding a third unit to the four bedroom unit. C.O.# 1 1/4/05

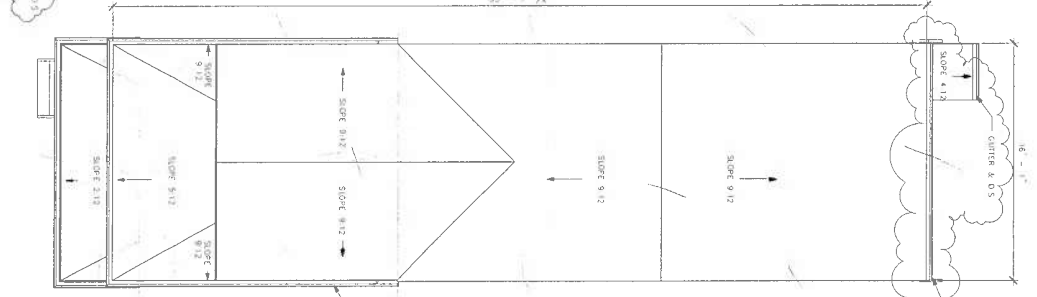
1 4 BEDROOM UNIT R 1ST FL. 1/4" = 1'-0"



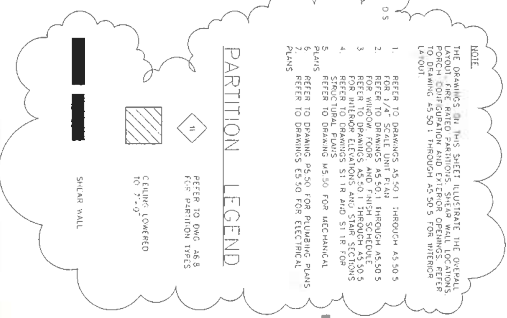
2 4 BEDROOM UNIT R 2ND FL. 1/4" = 1'-0"



3 4 BEDROOM UNIT R ROOF PLAN 1/4" = 1'-0"



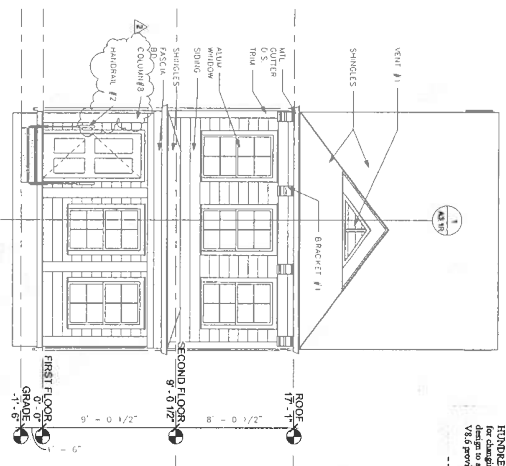
PARTITION LEGEND



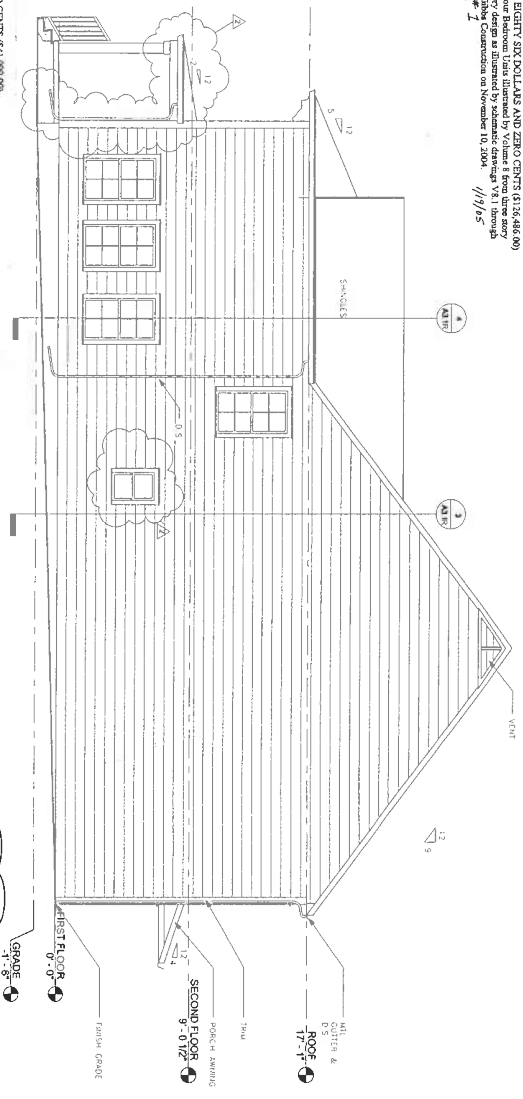
NOTE:
 THE DRAWINGS SHOWN HEREIN REPRESENT THE DRAWINGS FOR THE UNIT. THE DRAWINGS FOR THE OTHER UNITS IN THE BUILDING SHALL BE KEPT IN THE OFFICE OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS.

REVISIONS:
 1. 1/4" = 1'-0"
 2. 1/4" = 1'-0"
 3. 1/4" = 1'-0"
 4. 1/4" = 1'-0"
 5. 1/4" = 1'-0"
 6. 1/4" = 1'-0"
 7. 1/4" = 1'-0"
 8. 1/4" = 1'-0"
 9. 1/4" = 1'-0"
 10. 1/4" = 1'-0"

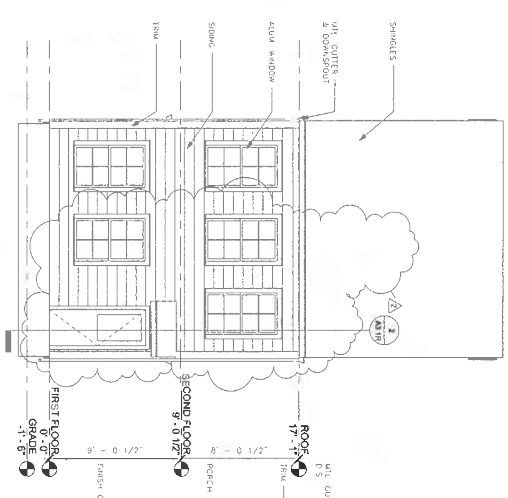
29 Deduct the sum of ONE HUNDRED TWENTY SIX THOUSAND FOUR HUNDRED AND EIGHTY SIX DOLLARS AND ZERO CENTS (\$126,486.00) for changing the First Bedroom Units Issued by Volume 8 from three story to two story units. The change was approved by the Board of Directors on November 10, 2004. C.O.# 1 11/10/05



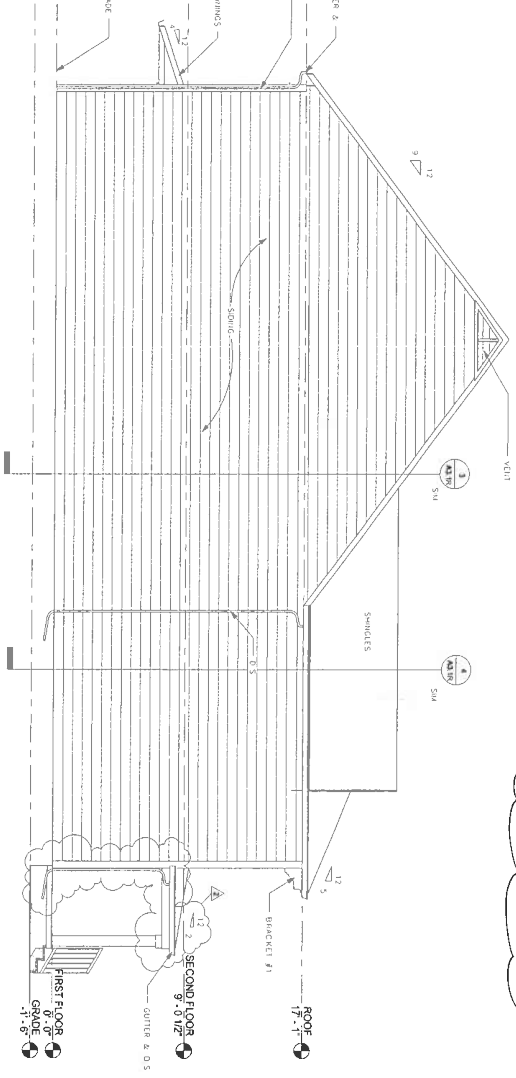
① 4 BEDROOM UNIT R - FRONT ELEVATION
1/4" = 1'-0"



② 4 BEDROOM UNIT R - RIGHT ELEVATION
1/4" = 1'-0"



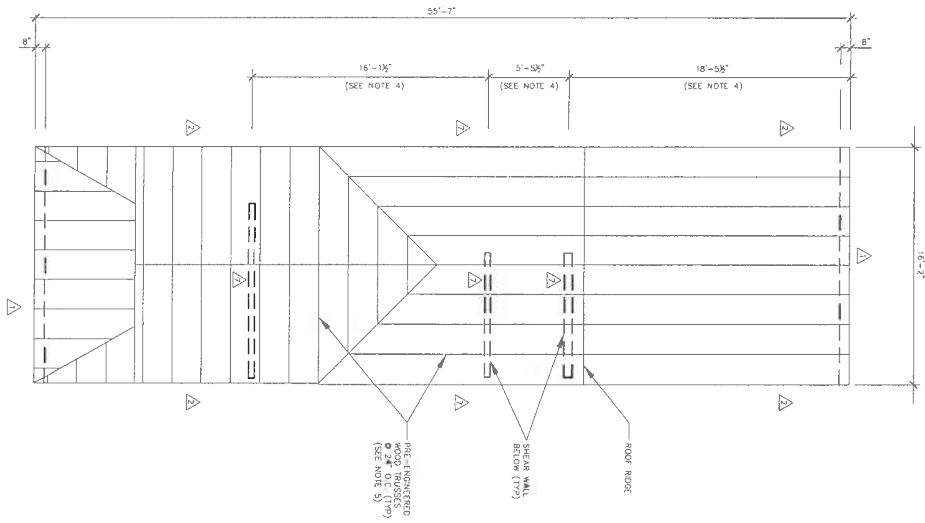
③ 4 BEDROOM UNIT R - BACK ELEVATION
1/4" = 1'-0"



④ 4 BEDROOM UNIT R - LEFT ELEVATION
1/4" = 1'-0"

SEE SIDEWALK TREE # 1

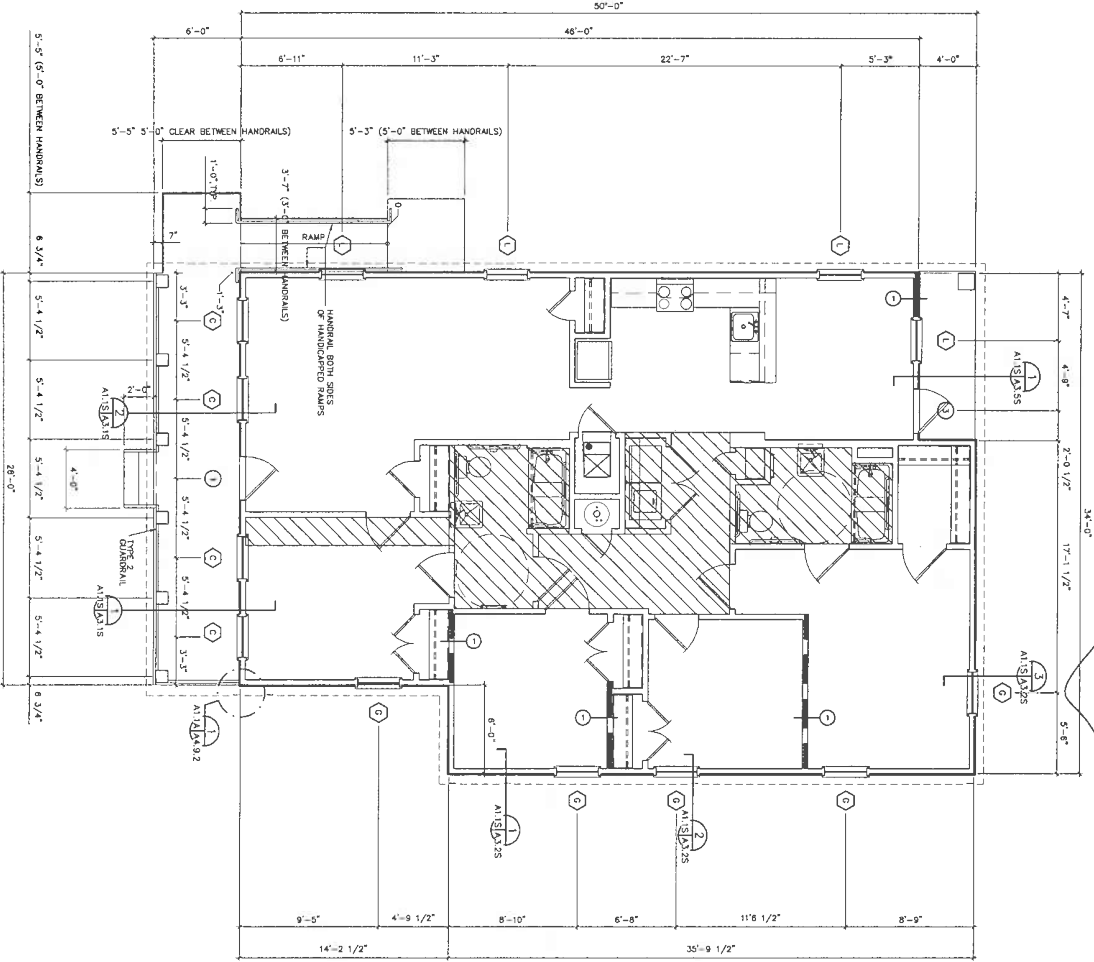
66. Deduct the sum of FORTY ONE THOUSAND AND ZERO CENTS (\$41,000.00) for deducting 200 units from the first phase of the project. 11/10/05



- NOTES:
1. SUSTAINING 2 1/2" x 8" WOOD (EXTERIOR USE) RATED TO SPAN 24 INCHES
 2. FLOOR SHEATHING IS 3/4" PLYWOOD (CONSOLE AND GROUND) RATED TO SPAN 18 INCHES
 3. ∇ INDICATES SHEAR WALLS. SEE SHEET S3.4, VOLUME SET 3.
 4. KEY-Y LOCATION OF SHEAR WALLS WITH ARCHITECTURAL DRAWINGS.
 5. FOR DESIGN REQUIREMENTS OF WOOD TRUSSES, SEE SHEET S-011, VOLUME SET 3. PROVIDE FIRE-RATE CURVE, ETC. AS REQUIRED.
 6. PROVIDE TOTAL 8 FEET OF SHEAR WALL ∇ AT THE CORNERS.

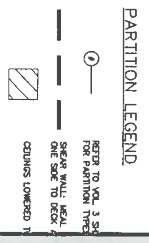
ROOF FRAMING PLAN

38 Deduct the sum of ONE HUNDRED FOURTEEN THOUSAND EIGHT HUNDRED THIRTY DOLLARS AND ZERO CENTS (\$14,830.00) for adding Simpson X-bracing system above walls. *C. O. #1* 1/19/15

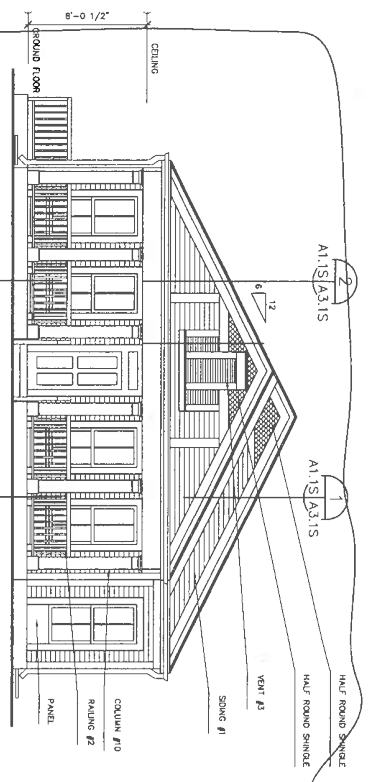


4-BEDROOM HANDICAPPED BLDG. S - 1ST. FLOOR PLAN
 SCALE: 1/4"=1'-0"
 SINGLE DETACHED

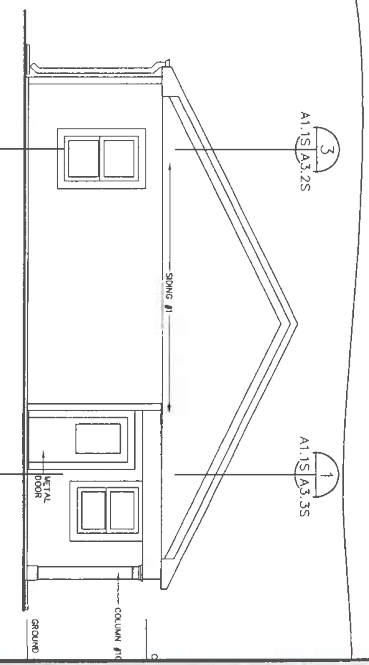
- NOTE: THE DRAWINGS ON THIS SHEET ILLUSTRATE THE OVERALL BUILDING FOOTPRINT, THE LOCATION OF THE EXTERIOR WALLS, LOCATIONS, PORCH CONFIGURATION AND EXTERIOR OPENINGS. REFER TO DRAWING A5.10 FOR INTERIOR LAYOUT DIMENSIONS. ARE FROM OUT TO OUT OF FINISHED EXTERIOR WALLS.
1. REFER TO DRAWING A5.60 FOR 1/4" SCALE UNIT PLAN.
 2. REFER TO DRAWING A5.61 FOR WINDOW, DOOR, AND FINISH SCHEDULE.
 3. REFER TO DRAWING A5.62 THROUGH A5.65 FOR INTERIOR ELEVATIONS.
 4. REFER TO DRAWING A5.66 THROUGH A5.69 FOR INTERIOR FINISHES.
 5. REFER TO DRAWING M5.80 FOR MECHANICAL PLANS.
 6. REFER TO DRAWING P5.60 FOR PLUMBING PLANS.
 7. REFER TO DRAWING E5.80 FOR ELECTRICAL PLANS.



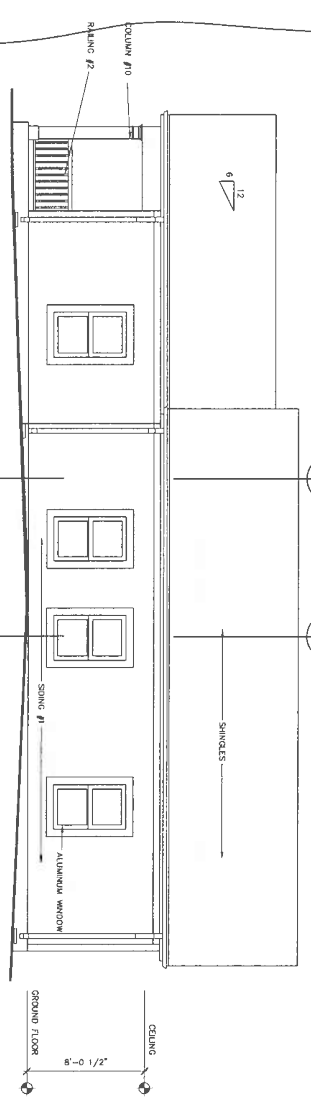
PLAN ILLUSTRATED FOR SQ. RF-8 LOT 1 REFER TO DWG. C1.17 & C1.24
 DASHED PLAN FOR SQ-RF08 LOT 8 REFER TO DWG. C1.16 & C1.24



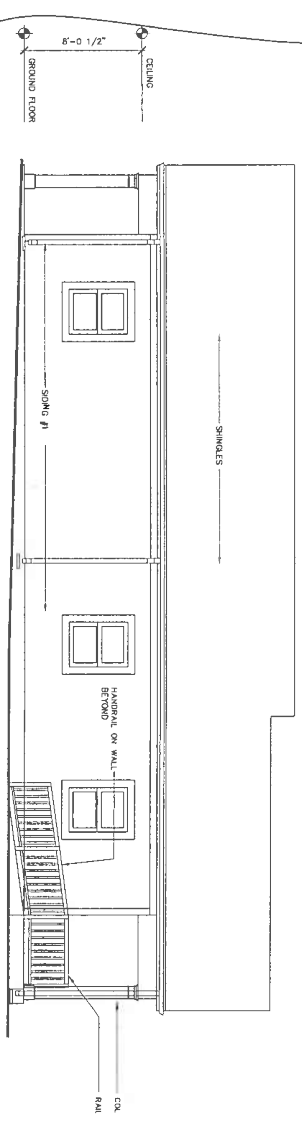
4-BEDROOM H/C BLDG. S - FRONT ELEVATION
SCALE: 1/4"=1'-0"



4-BEDROOM H/C BLDG. S - REAR ELEVATION
SCALE: 1/4"=1'-0"



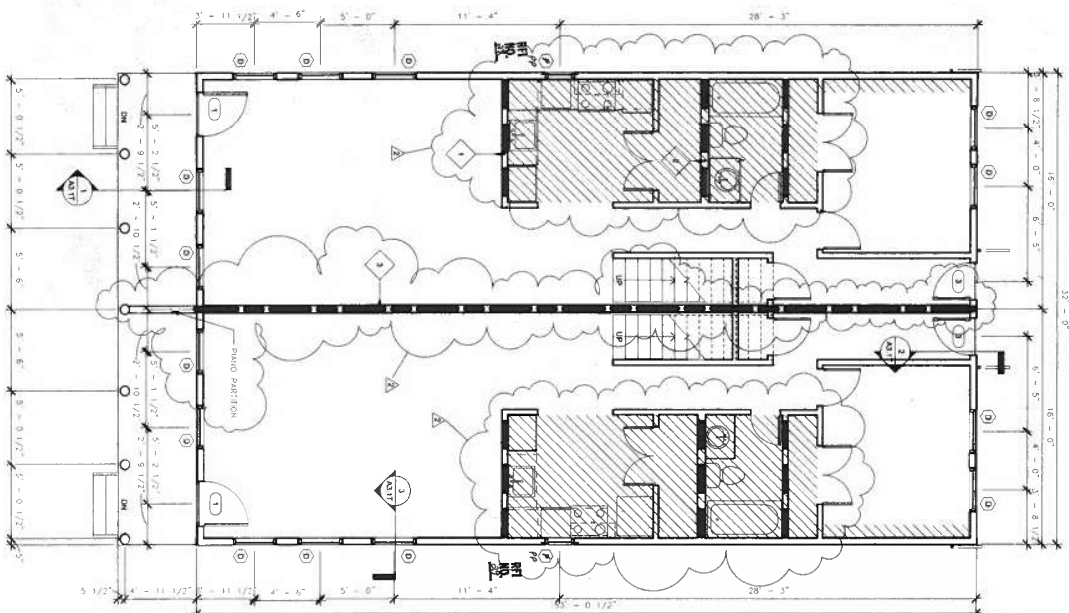
4-BEDROOM H/C BLDG. S - RIGHT ELEVATION
SCALE: 1/4"=1'-0"



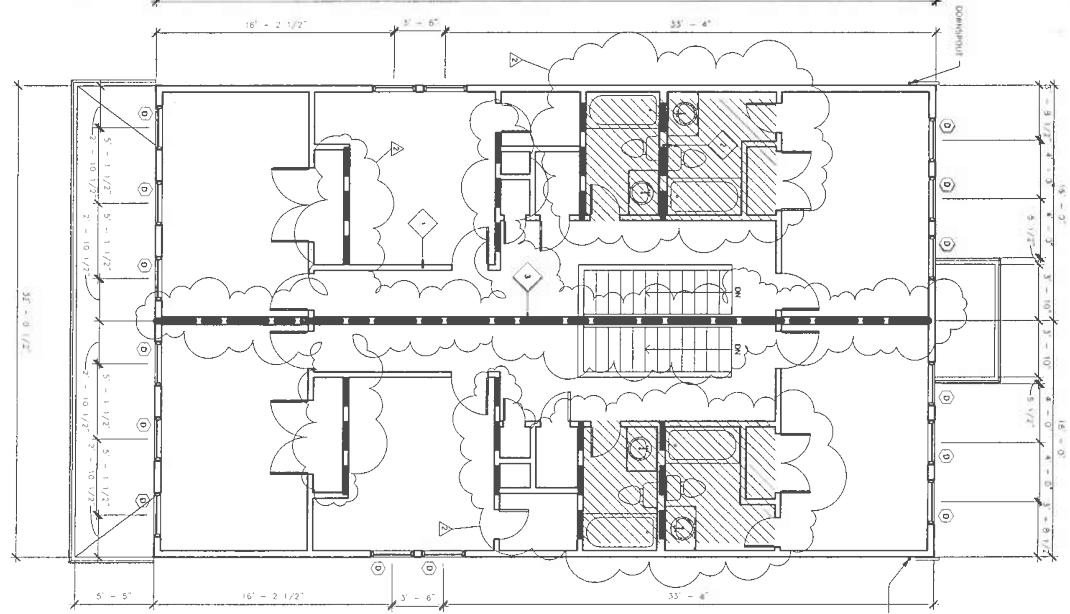
4-BEDROOM H/C BLDG. S - LEFT ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
REFER TO VOLUME 3,
DRAWING V03005, SHEET
A0.4 FOR COLUMNS, RAIL-
BRACKET, & MOLDING T

60 ADDRESS: 1700 HWY 101, THIRDS AND EIGHT THROUGH TENTH,
 DOWDLES AND ZERO CENTS (336,820.00) for address 1/14/05
 C.O. # 1



1 BEDROOM UNIT 1 1ST FL. PLAN
 1/15/05



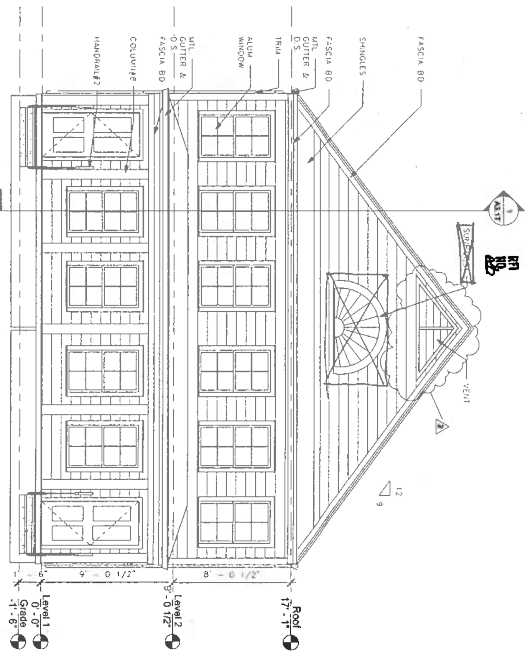
2 BEDROOM UNIT 2ND FL. PLAN
 1/15/05

DATE:

THE DRAWINGS ON THIS SHEET
 HAVE BEEN PREPARED BY THE
 ARCHITECT FOR THE ARCHITECT'S
 PROFESSIONAL CONSULTATION AND
 LAYOUT

1 REFER TO DRAWING 1
2 REFER TO DRAWING 2
3 REFER TO DRAWING 3
4 REFER TO DRAWING 4
5 REFER TO DRAWING 5
6 REFER TO DRAWING 6
7 REFER TO DRAWING 7
8 REFER TO DRAWING 8
9 REFER TO DRAWING 9
10 REFER TO DRAWING 10

PARTITION



1 4 BEDROOM UNIT FRONT ELEVATION
1/8" = 1'-0"

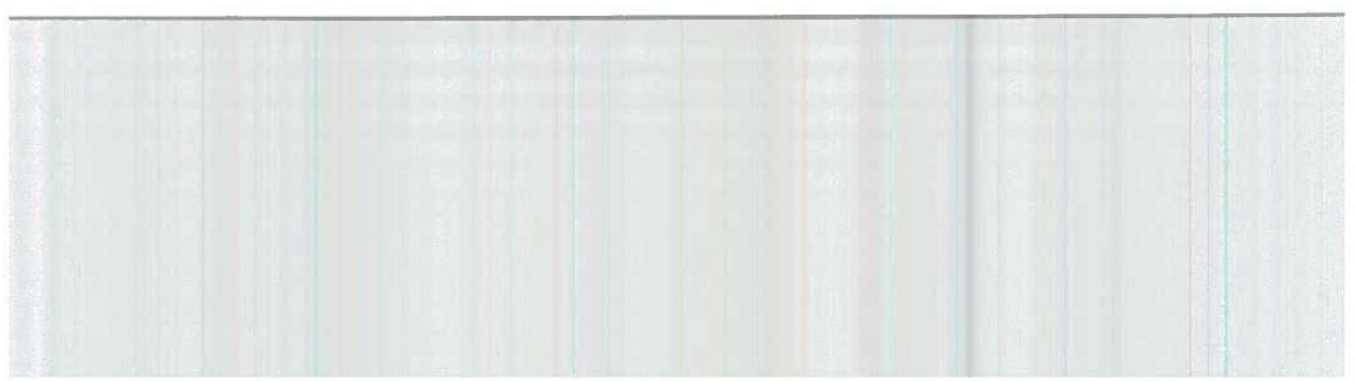
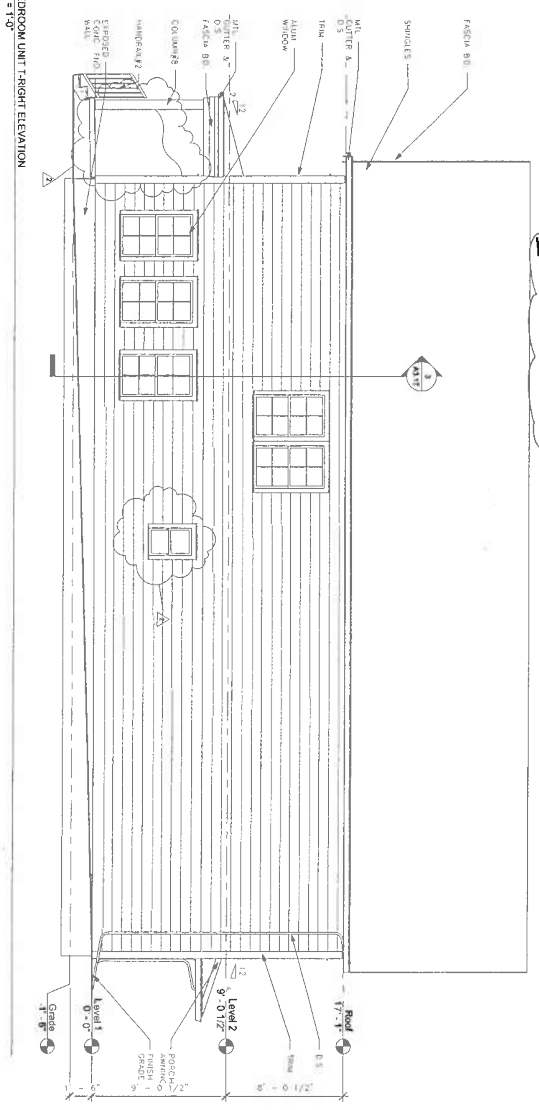
NO. 30114 TYPE # 3

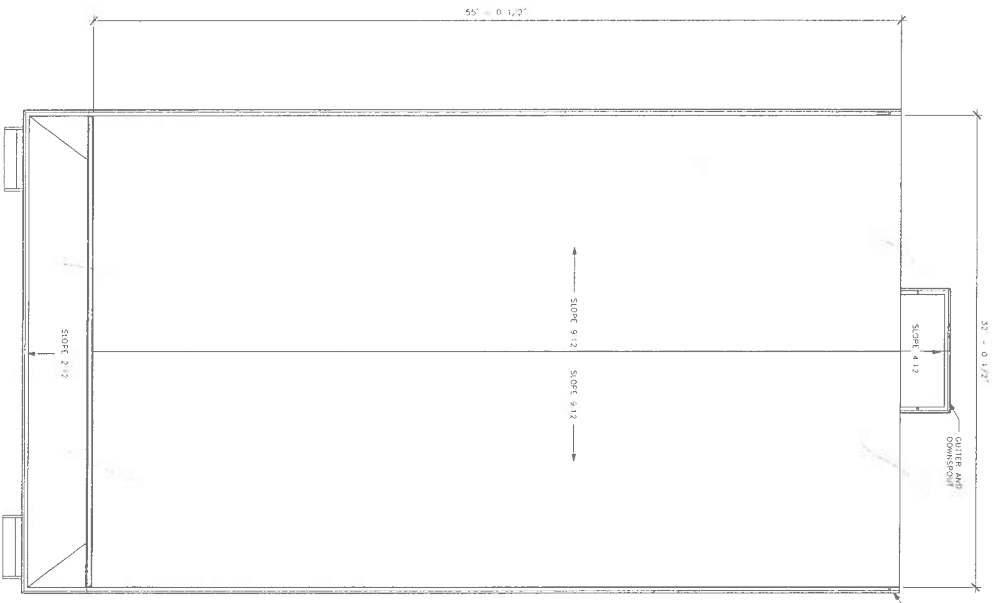
66 Deduct the sum of FORTY ONE THOUSAND AND ZERO CENTS (\$41,000.00) for shading porch, railing from the first floor proceeds by 2/3/19/25
C.D. 2/1

29 Deduct the sum of ONE HUNDRED TWENTY SIX THOUSAND FOUR for shading porch, railing from the first floor proceeds by 2/3/19/25
C.D. 2/1

29 Deduct the sum of ONE HUNDRED TWENTY SIX THOUSAND FOUR for shading porch, railing from the first floor proceeds by 2/3/19/25
C.D. 2/1

2 4 BEDROOM UNIT RIGHT ELEVATION
1/8" = 1'-0"



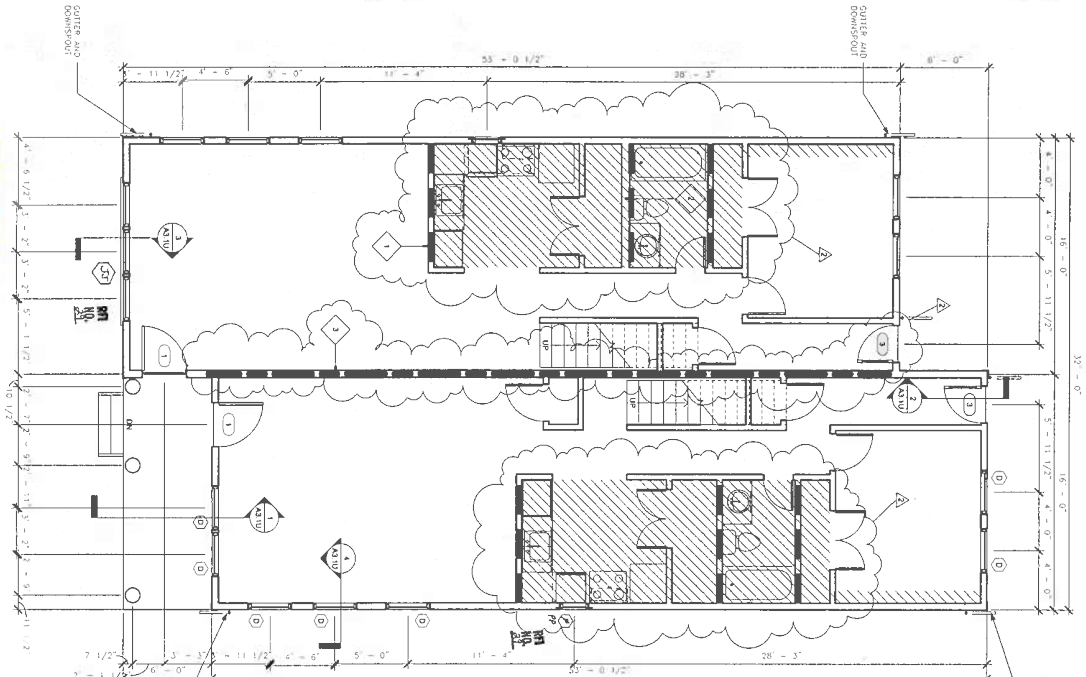


NOTE
 THE DIMENSIONS ON THIS SHEET
 SHOWN ON THIS SHEET ARE
 TO DRAWING AS SHOWN IN HATCHED
 AREA

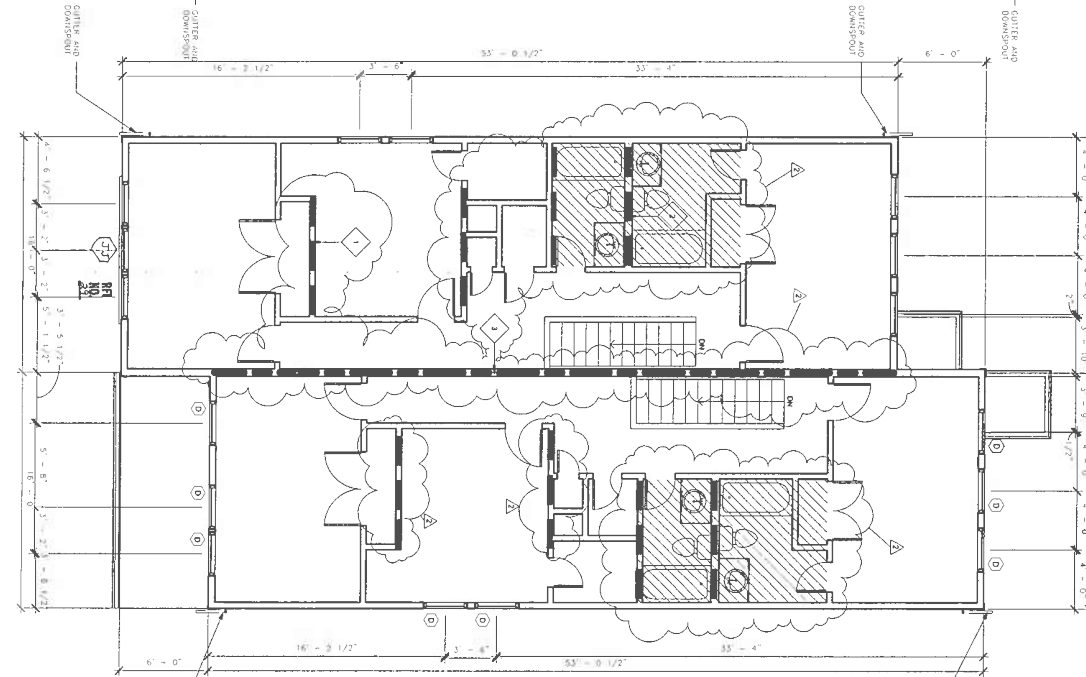
- 1 REFER TO DRAWINGS A
- 2 REFER TO DRAWINGS B
- 3 REFER TO DRAWINGS C
- 4 REFER TO DRAWINGS D
- 5 REFER TO DRAWINGS E
- 6 REFER TO DRAWINGS F
- 7 REFER TO DRAWINGS G

① 4 BEDROOM UNIT ROOF PLAN
 1/4" = 1'-0"

① 4 BEDROOM UNIT U.1ST FL. PLAN
1/8" = 1'-0"



② 4 BEDROOM UNIT U.2ND FL. PLAN
1/8" = 1'-0"



69. Add to sum of TWENTY SIX THOUSAND EIGHT HUNDRED TWENTY DOLLARS AND ZERO CENTS (\$26,820.00) for adding a unit full suite to the four bedroom unit. 4.0 # 1
11/9/05

NOTE:
THE DIMENSIONS ON THIS LAYOUT ARE RATIO PART TO DRAWING AS SHOWN IN LAYOUT.

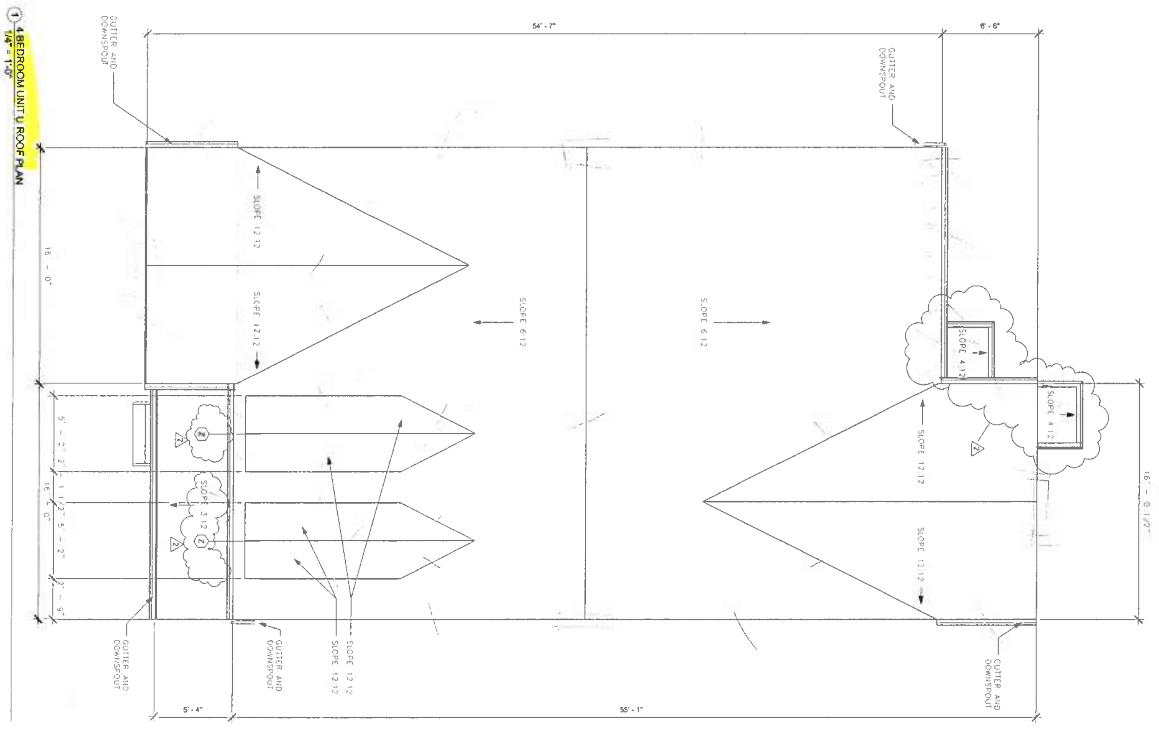
LEGEND:
 1 REFER TO DRAWING
 2 REFER TO DRAWING
 3 REFER TO DRAWING
 4 REFER TO DRAWING
 5 REFER TO DRAWING
 6 REFER TO DRAWING
 7 REFER TO DRAWING
 8 REFER TO DRAWING
 9 REFER TO DRAWING
 10 REFER TO DRAWING

OUTLET AND DOWNSPOUT

1
2
3
4
5
6
7
8
9
10

PARTITION

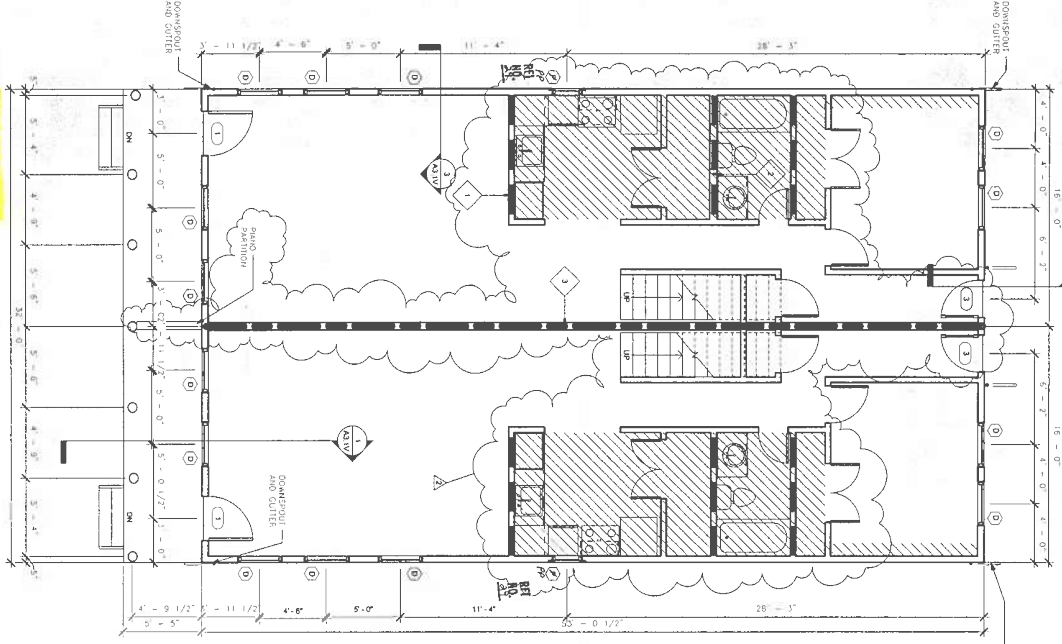
1
2
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10



1 BEDROOM UNIT U ROOF PLAN
 1/8" = 1'-0"

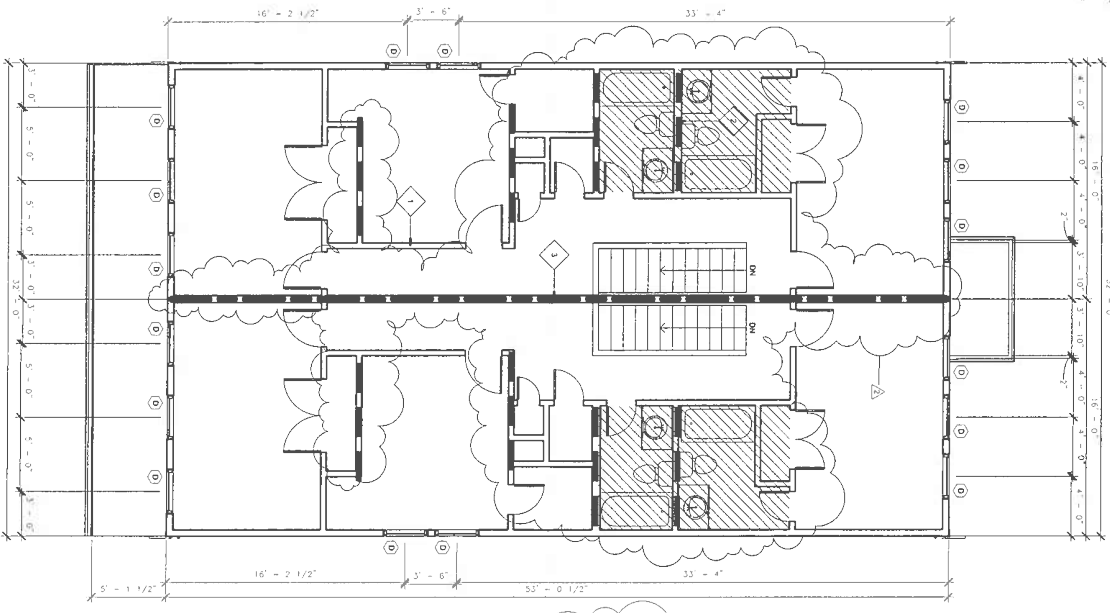
NOTE:
 THE DRAWINGS ON THIS
 SHEET ARE THE PROPERTY OF
 THE ARCHITECT AND ARE NOT
 TO BE REPRODUCED OR
 TRANSMITTED IN ANY FORM
 OR BY ANY MEANS, ELECTRONIC
 OR MECHANICAL, INCLUDING
 PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION
 STORAGE AND RETRIEVAL
 SYSTEM, WITHOUT THE
 WRITTEN PERMISSION OF
 THE ARCHITECT.

1. 4 BEDROOM UNIT V. 1ST FL. PLAN
1/4" = 1'-0"



66 Add the sum of TWENTY SIX THOUSAND EIGHT HUNDRED TWENTY DOLLARS AND ZERO CENTS (\$26,820.00) for adding a third hall to be four bedrooms units. C. 6 # 7
11/9/05

2. 4 BEDROOM UNIT V. 2ND FL. PLAN
1/4" = 1'-0"



LEGEND

1. REF. TO DRAWING
2. REF. TO DRAWING
3. REF. TO DRAWING
4. REF. TO DRAWING
5. REF. TO DRAWING
6. REF. TO DRAWING
7. REF. TO DRAWING

PARTITION

1. HALL PARTITION
2. B.C.P.
3. B.F.F.P.
4. B.F.F.P.

4. REF. TO DRAWING

5. REF. TO DRAWING

6. REF. TO DRAWING

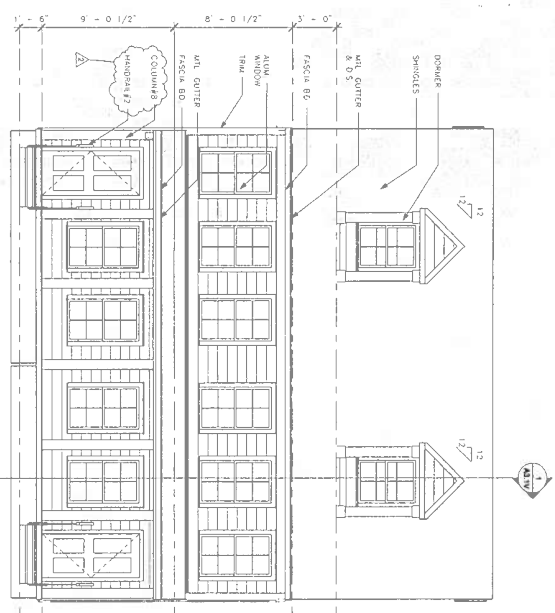
7. REF. TO DRAWING

8. REF. TO DRAWING

9. REF. TO DRAWING

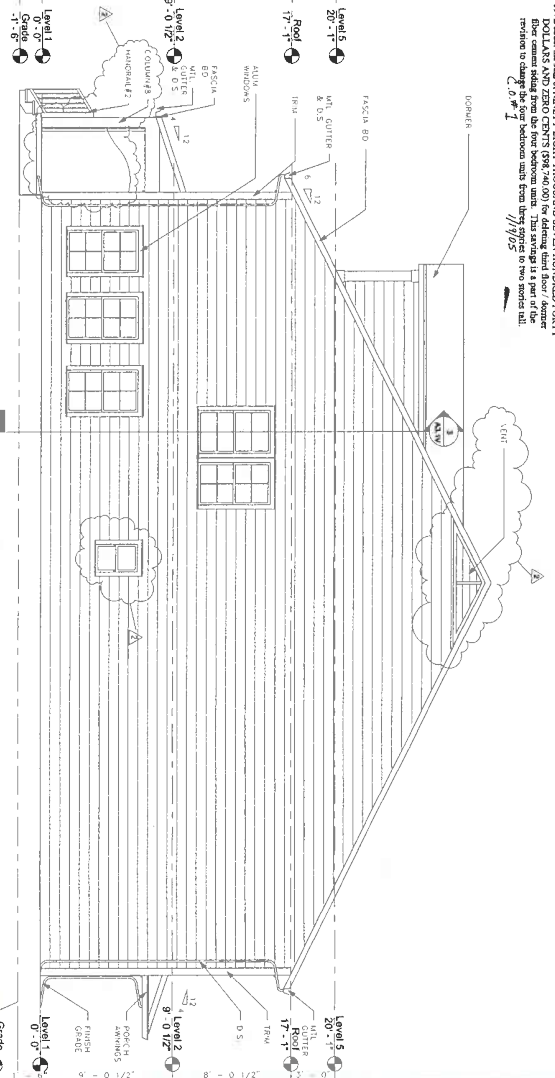
10. REF. TO DRAWING

12' - 0"



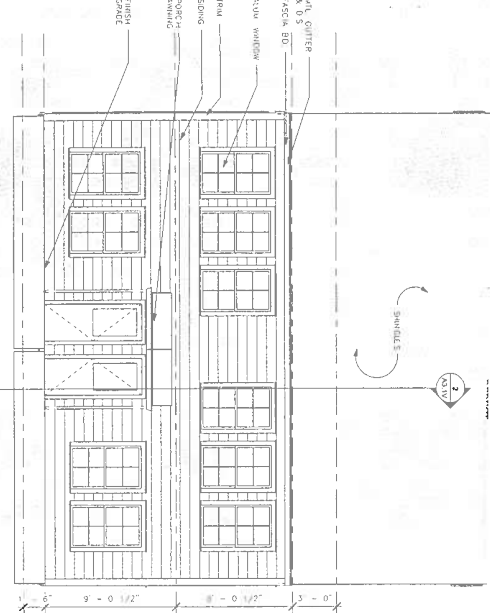
1 4-BEDROOM UNIT FRONT ELEVATION
1/4" = 1'-0"

39. Deduct the sum of FORTY EIGHT THOUSAND SEVEN HUNDRED FORTY TWO DOLLARS AND NO CENTS (\$48,742.00) from the sum of FORTY ONE THOUSAND AND ZERO CENTS (\$41,000.00) for change of the four Bedroom Unit illustrated by Volume 8 from three story design to a two story design as illustrated by redaction drawings V8.1 through V8.5 provided to **Design Corporation** on November 10, 2004. 11/10/05

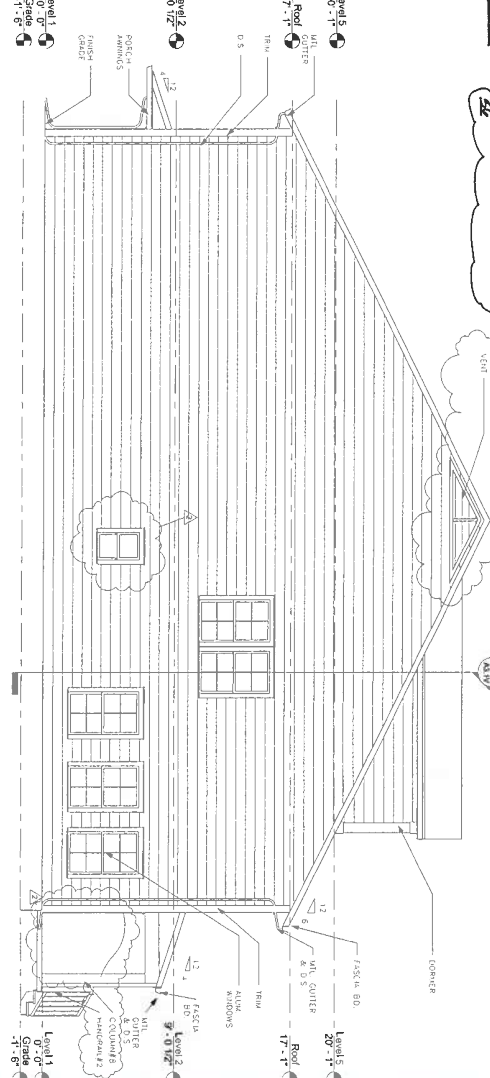


2 4-BEDROOM UNIT RIGHT ELEVATION
1/4" = 1'-0"

所
SIDEHAY
TATE #4



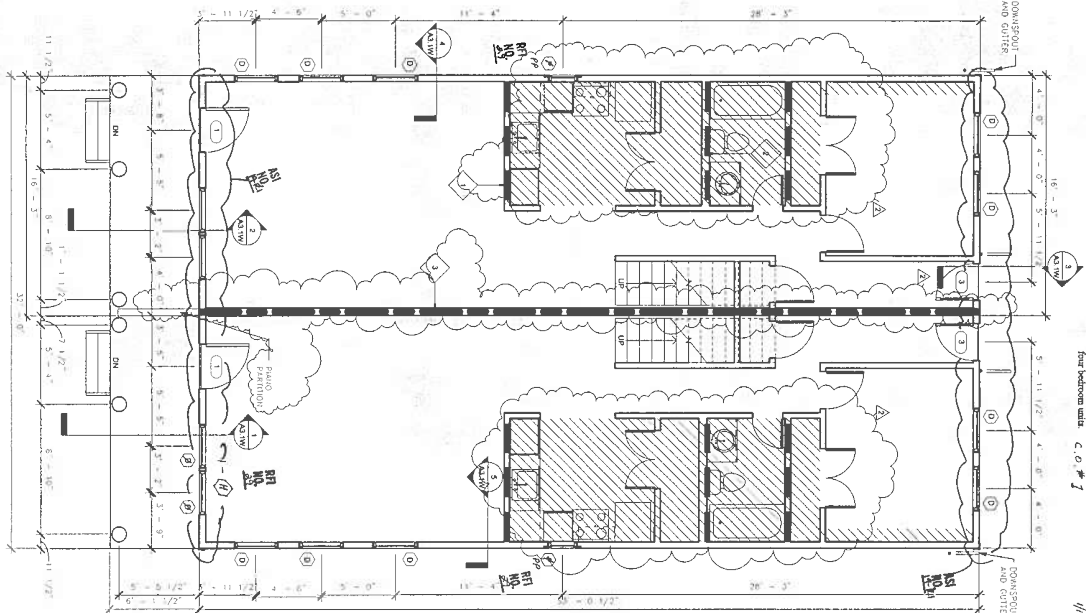
3 4-BEDROOM UNIT BACK ELEVATION
1/4" = 1'-0"



4 4-BEDROOM UNIT LEFT ELEVATION
1/4" = 1'-0"

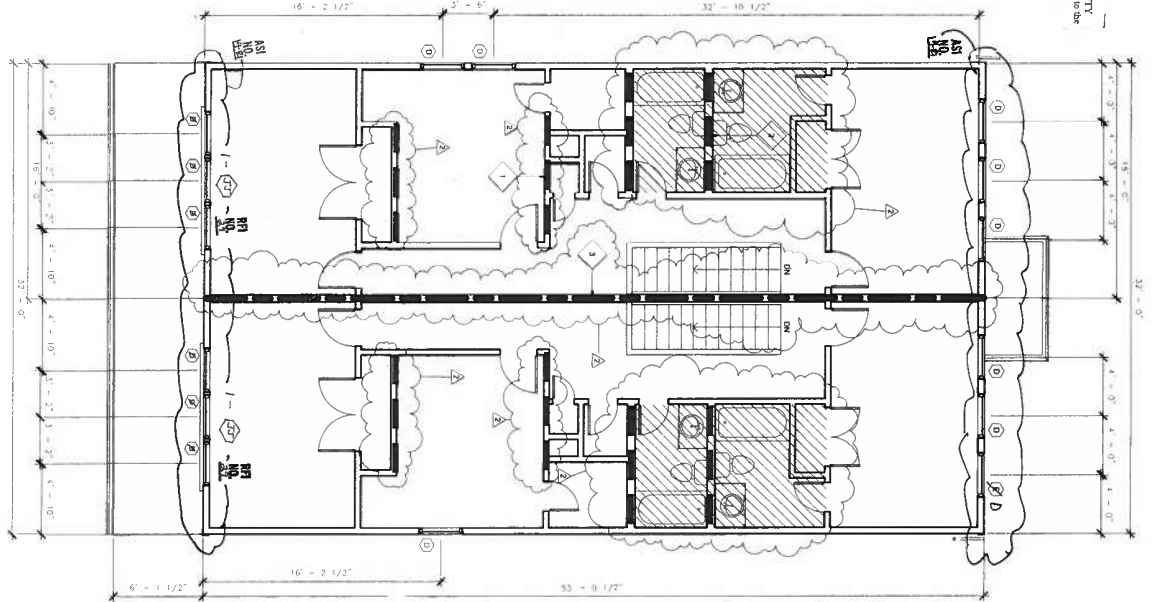
29. Deduct the sum of ONE HUNDRED TWENTY SIX THOUSAND FOUR HUNDRED AND NO CENTS (\$126,400.00) from the sum of FORTY ONE THOUSAND AND ZERO CENTS (\$41,000.00) for change of the four Bedroom Unit illustrated by Volume 8 from three story design to a two story design as illustrated by redaction drawings V8.1 through V8.5 provided to **Design Corporation** on November 10, 2004. 11/10/05

1 BEDROOM UNIT W/ 1ST FL. PLAN



66 Add the sum of TWENTY SIX THOUSAND EIGHT HUNDRED TWENTY DOLLARS AND ZERO CENTS (\$26,820.00) for adding a unit all work to be done by the contractor.

2 4 BEDROOM UNIT W/ 2ND FL. PLAN

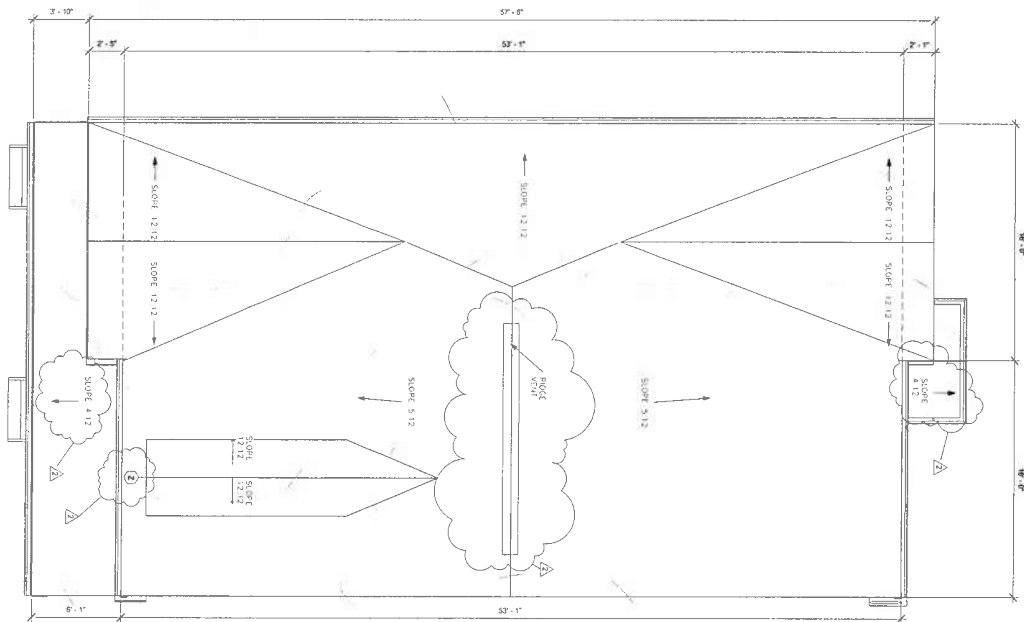


NOTE: 1. SEE GENERAL NOTES ON THIS SHEET FOR ADDITIONAL INFORMATION.
 2. REFER TO DRAWINGS AS NOTED.
 3. REFER TO DRAWINGS AS NOTED.
 4. REFER TO DRAWINGS AS NOTED.
 5. REFER TO DRAWINGS AS NOTED.
 6. REFER TO DRAWINGS AS NOTED.

LEGEND:
 PARTITION
 1. WALL
 2. PARTITION
 3. PARTITION
 4. PARTITION
 5. PARTITION
 6. PARTITION

NOTES:
 1. REFER TO DRAWINGS AS NOTED.
 2. REFER TO DRAWINGS AS NOTED.
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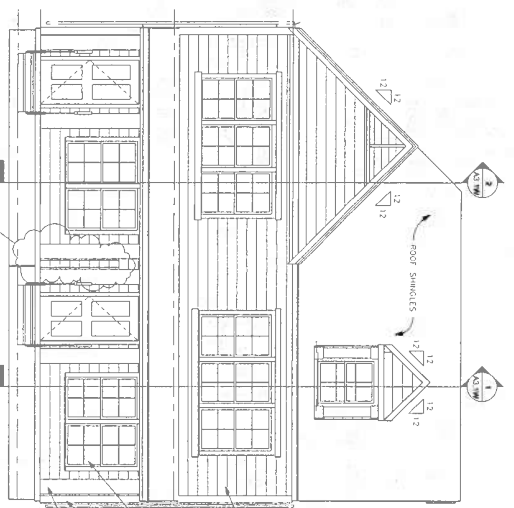
1 BEDROOM UNIT W/ ROOF PLAN
 1/4" = 1'-0"



NOTE:
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 UNOUP FOR FURTHER PARTI...
 DRAWING SET FOR INFORMATION

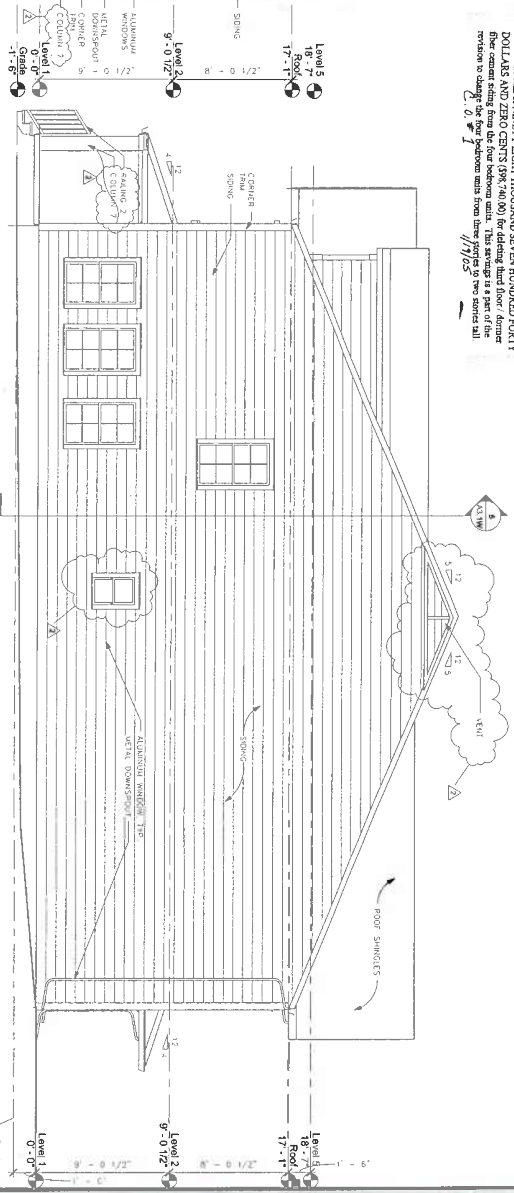
LEGEND TO DRAWINGS
 1 REFER TO DRAWINGS
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 5 REFER TO DRAWINGS
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38. Prepare the sets of NINETEEN EIGHT THOUSAND SEVEN HUNDRED FORTY DOLLARS (19,847.00) for setting three floor joists. River cannot start from the first floor joist. The contractor is to change the four joists from three joists to two joists.



1 4 BEDROOM UNIT W-FRONT ELEVATION
1/4" = 1'-0"

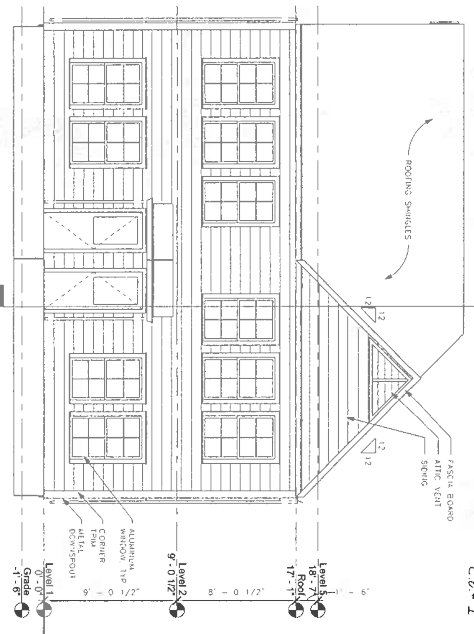
66. Prepare the sets of FORTY ONE THOUSAND AND ZERO CENTS (41,000.00) for setting C.O.P. I on the site and the price of 1/16/05.



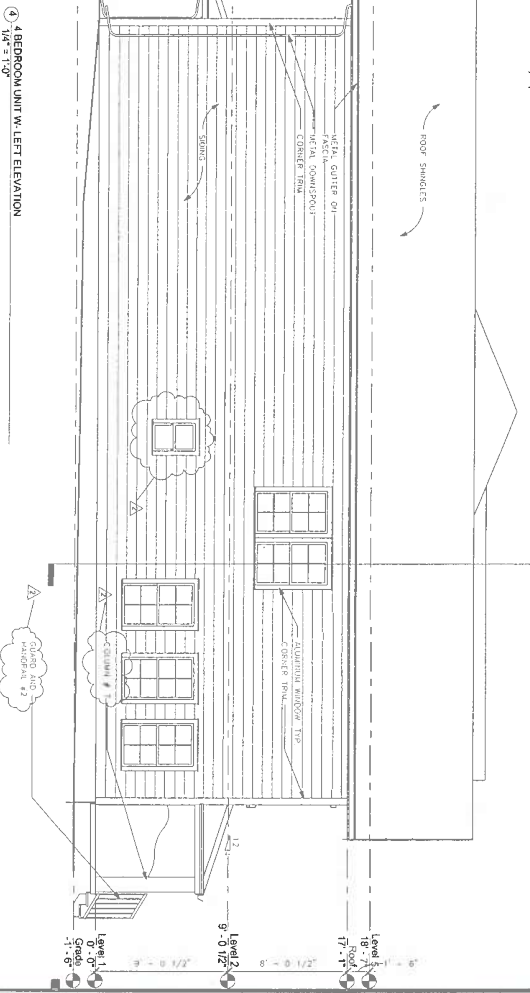
2 4 BEDROOM UNIT W-RIGHT ELEVATION
1/4" = 1'-0"

29. Prepare the sets of ONE HUNDRED TWENTY SIX THOUSAND FOUR HUNDRED AND ZERO CENTS (126,400.00) for setting C.O.P. I on the site and the price of 1/16/05. Design to a two story design as illustrated by Volume 4 from Blue story 1839 per C.O.P. I Commission on November 10, 2004. 1/16/05

RESIDING TYPE #3

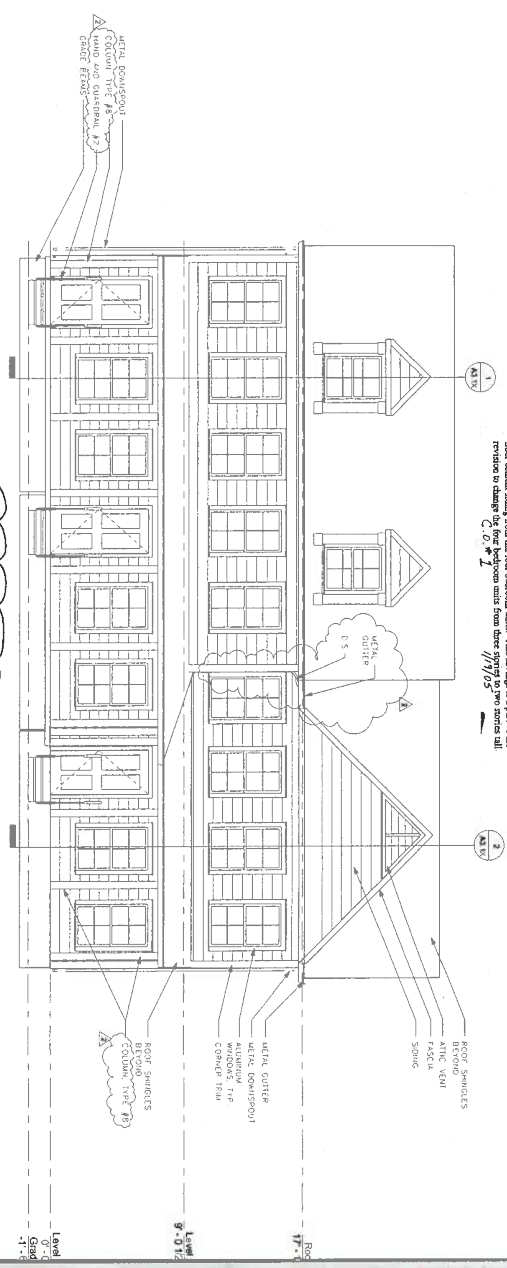


3 4 BEDROOM UNIT W-BACK ELEVATION
1/4" = 1'-0"



4 4 BEDROOM UNIT W-LEFT ELEVATION
1/4" = 1'-0"

19. Deduct the sum of FORTY EIGHT THOUSAND SEVEN HUNDRED FORTY DOLLARS AND ZERO CENTS (98,740.00) for adding third floor / dormer. Show correct siding from the floor bedroom units. This savings is a part of the credits to change C 6 of 1 floor unit from 11/9/05

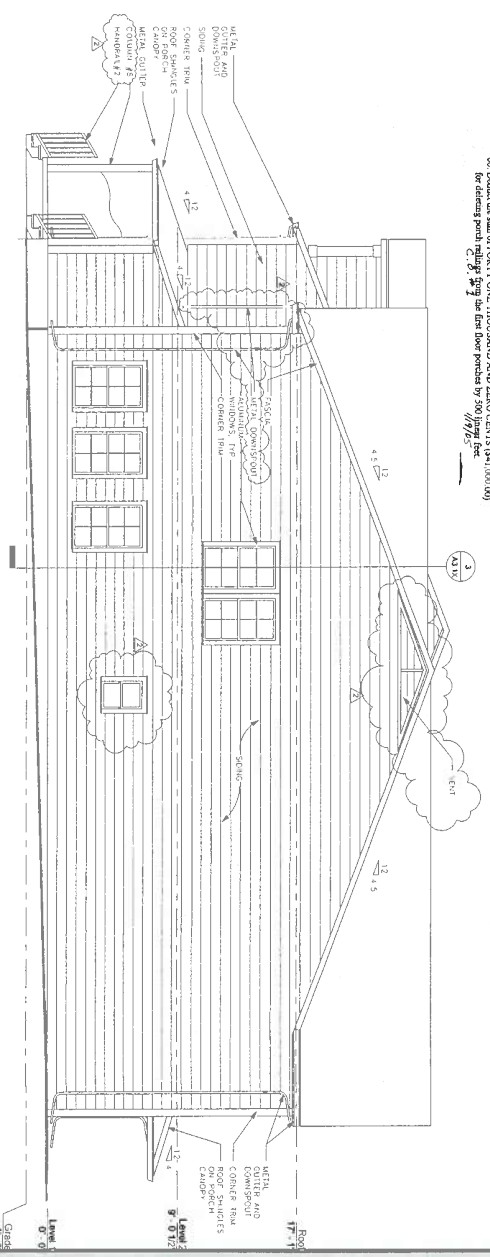


① 4 BEDROOM UNIT X-FRONT ELEVATION
1/4" = 1'-0"

66. Deduct the sum of FORTY ONE THOUSAND AND ZERO CENTS (41,000.00) for deducting porch railing. See the first door porch by 500 11/9/05

በይ Siding TYPE #3

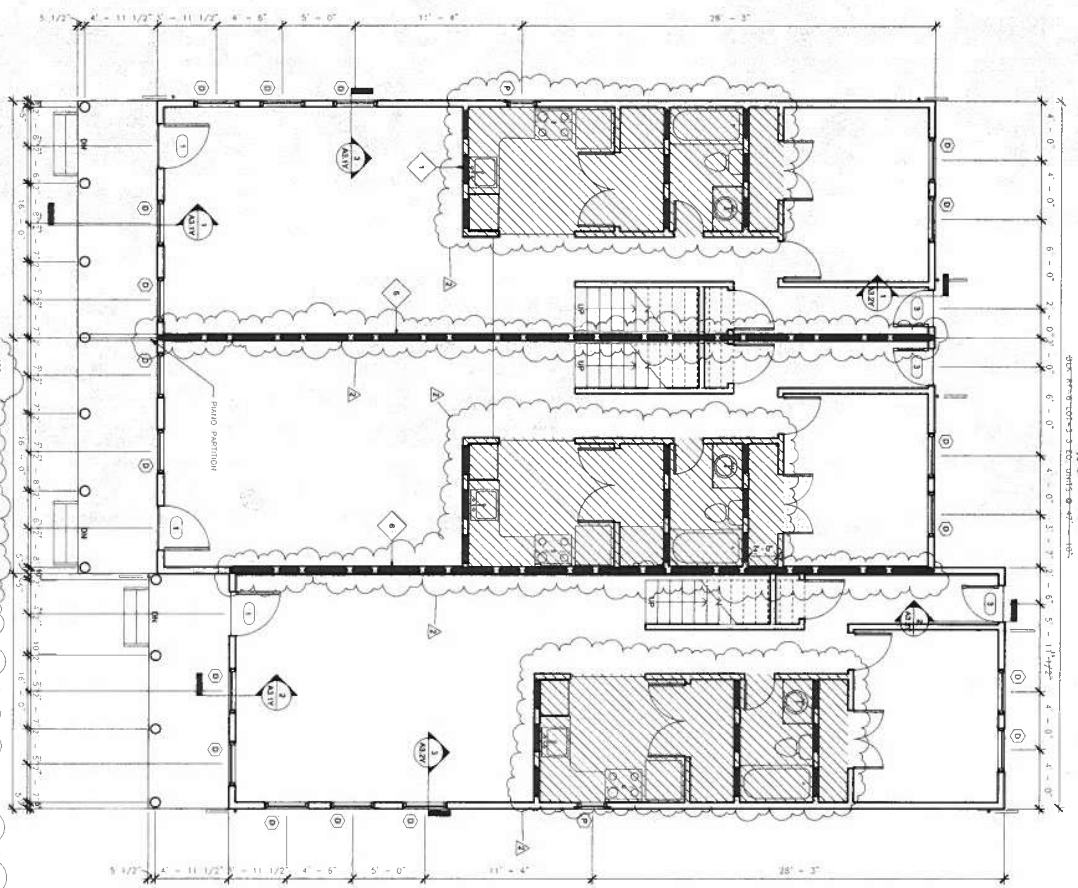
29. Deduct the sum of ONE HUNDRED TWENTY SIX THOUSAND FOUR HUNDRED AND EIGHTY SIX DOLLARS AND ZERO CENTS (126,486.00) for deducting the sum of 110000.00 for deducting the first floor story design as a two story design as illustrated by submittal drawing VS 1 through VS 6 provided to City's Commission on November 10, 2004. 11/9/05



② 4 BEDROOM UNIT RIGHT ELEVATION
1/4" = 1'-0"

1 4 BERGON UNIT Y 1ST FL. PLAN
1/4" = 1'-0"

NOTE:
 THE DRAWINGS ON THIS SHEET ILLUSTRATE THE ORIGINAL LAYOUT FOR FLOOR PARTITIONS, STAIRS AND LOCATIONS. EACH
 CONSTRUCTION AND FINISH SPECIFICATIONS SHALL BE AS SHOWN ON THE DRAWINGS AND SHALL BE SUBJECT TO THE
 1. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 2. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 3. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 4. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 5. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 6. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 7. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 8. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 9. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 10. REFER TO DRAWINGS 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.



69 Add the sum of TWENTY SIX THOUSAND FIFTY FINISHED PROPERTY
 DOLLARS AND ZERO CENTS (\$26,500) for adding a third full bath to the
 base bedroom units C.O.# 1
 1/19/05

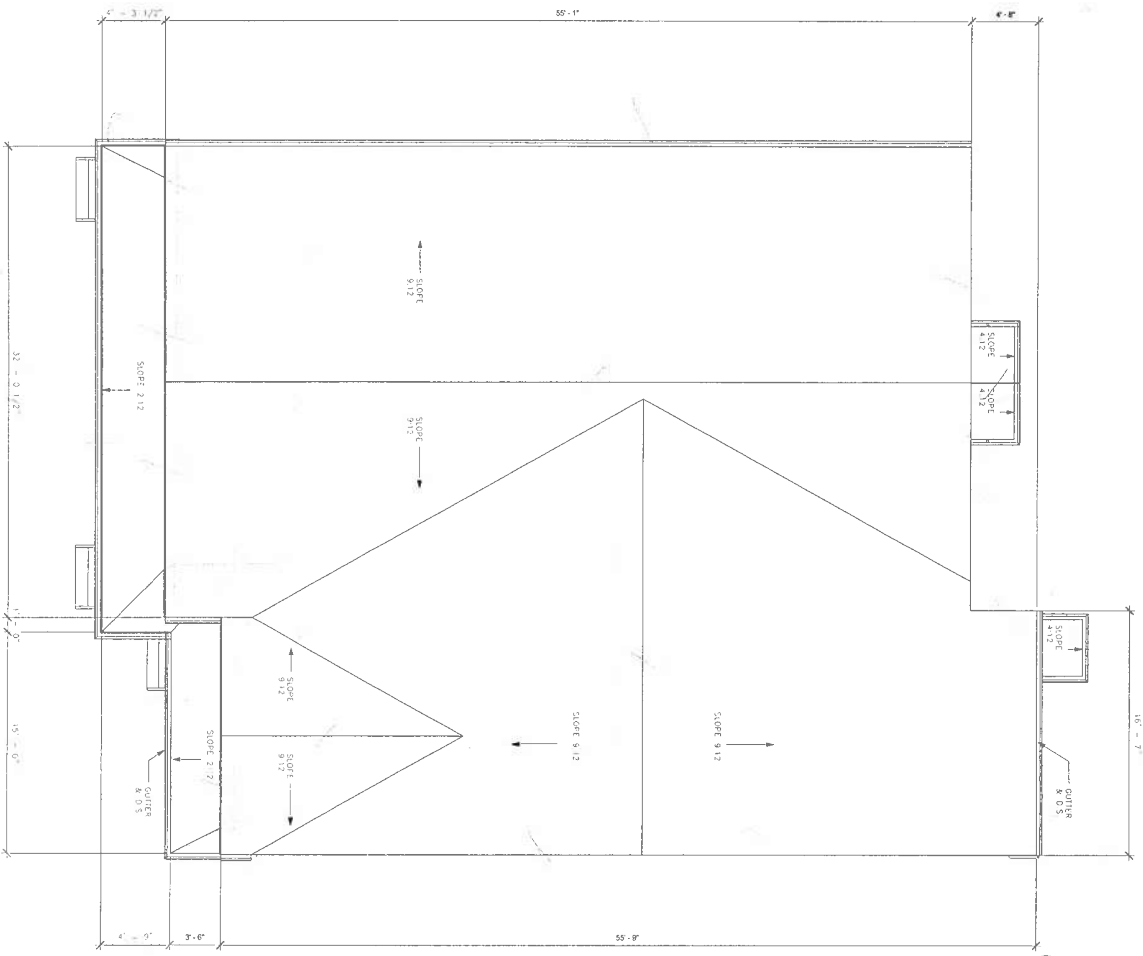
2 4 BERGON UNIT Y 2ND FL. PLAN
1/4" = 1'-0"

NOTE:
 1. REFER TO DRAWING 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 2. REFER TO DRAWING 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 3. REFER TO DRAWING 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 4. REFER TO DRAWING 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 5. REFER TO DRAWING 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 6. REFER TO DRAWING 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 7. REFER TO DRAWING 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
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 9. REFER TO DRAWING 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.
 10. REFER TO DRAWING 25.501 THROUGH 25.503 FOR FINISHES, MATERIALS AND SIZES.

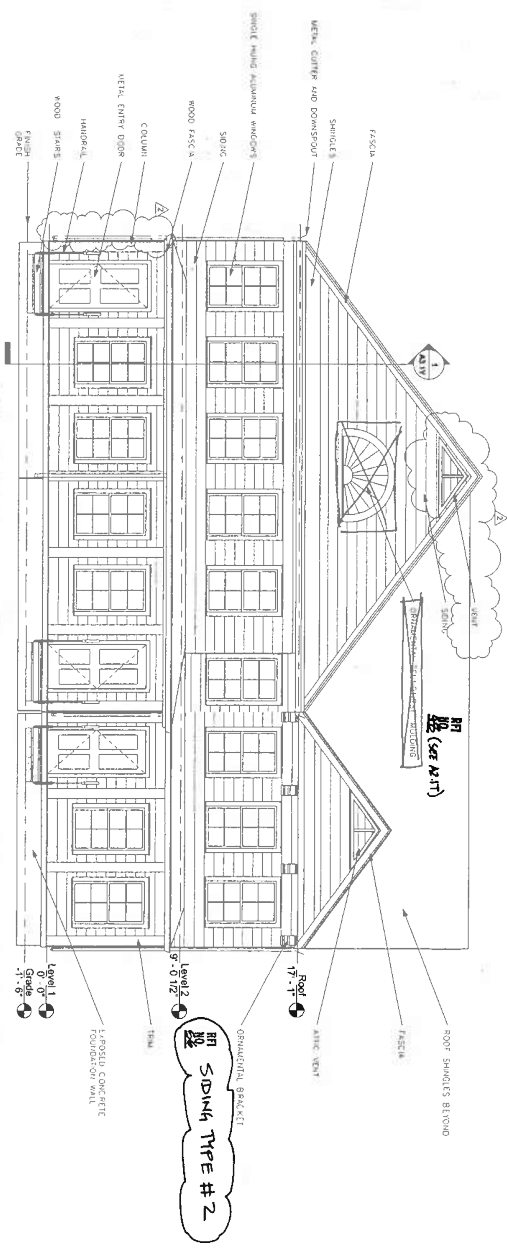


70 Add the sum of TWENTY SIX THOUSAND FIFTY FINISHED PROPERTY
 DOLLARS AND ZERO CENTS (\$26,500) for adding a third full bath to the
 base bedroom units C.O.# 1
 1/19/05

① 4-BEDROOM UNIT V ROOF PLAN
 1/4" = 1'-0"



- NOTE**
1. THE DRAWING ON THIS SHEET MUST BE USED IN CONJUNCTION WITH THE OTHER SHEETS OF THIS SET. SEE THE ARCHITECT'S GENERAL CONDITIONS AND EXTERIOR FINISHES. REFER TO DRAWING 45.201 FOR INTERIOR FINISHES.
 2. REFER TO DRAWING 45.201 THROUGH 45.203 FOR 1/4" SCALE UNIT PLAN.
 3. REFER TO DRAWING 45.201 THROUGH 45.203 FOR INTERIOR FINISHES AND MATERIALS.
 4. REFER TO DRAWING 45.201 THROUGH 45.203 FOR INTERIOR FINISHES AND MATERIALS.
 5. REFER TO DRAWING 45.201 THROUGH 45.203 FOR INTERIOR FINISHES AND MATERIALS.
 6. REFER TO DRAWING 45.201 THROUGH 45.203 FOR INTERIOR FINISHES AND MATERIALS.
 7. REFER TO DRAWING 45.201 THROUGH 45.203 FOR INTERIOR FINISHES AND MATERIALS.
 8. REFER TO DRAWING 45.201 THROUGH 45.203 FOR INTERIOR FINISHES AND MATERIALS.
 9. REFER TO DRAWING 45.201 THROUGH 45.203 FOR INTERIOR FINISHES AND MATERIALS.

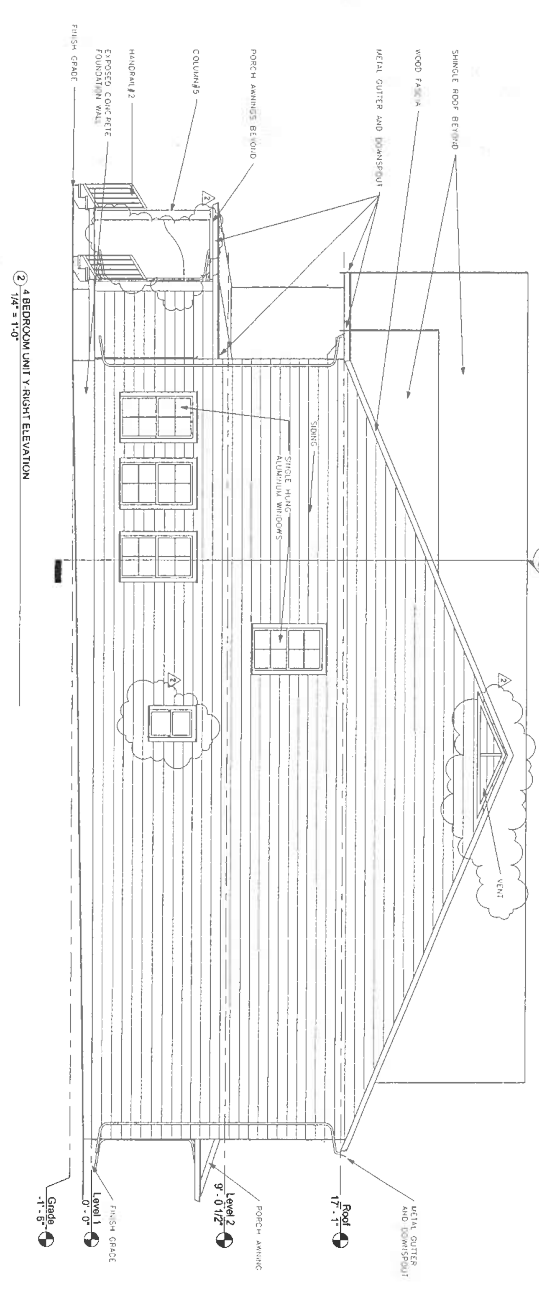


1 BEDROOM UNIT FRONT ELEVATION
1/4" = 1'-0"

66 Deduct the sum of FRONT ONE THOUSAND AND ZERO CENTS (\$1,000.00) for deducting front siding from the first floor porch by 300 1/4/95

29 Deduct the sum of ONE HUNDRED TWENTY SIX THOUSAND FOUR HUNDRED AND EIGHTY SIX DOLLARS AND ZERO CENTS (\$126,486.00) for deducting front siding from the first floor porch by 300 1/4/95

VS 5 provided to Globe Construction on November 10, 2004 1/14/95



2 BEDROOM UNIT RIGHT ELEVATION
1/4" = 1'-0"

